



A G E N D A

Monday September 27, 2021

COMMITTEE OF ADJUSTMENT

7:30 p.m., Council Chambers, Fingal/Via Video Link

-
1. CALL TO ORDER
 2. ADDENDUM TO AGENDA
 3. DISCLOSURE OF PECUNIARY INTEREST
 4. ADOPTION OF MINUTES
 - (a) Minutes of Committee of Adjustment meeting of September 13, 2021
 5. NEW BUSINESS
 - (a) Minor Variance Application MV 2021-08, Scherba
 - (b) Minor Variance Application MV 2021-09, Farhi Holdings Corporation C/O Nader Habib, Karim Design & Build
 - (c) Minor Variance Application MV 2021-10, Farhi Holdings Corporation C/O Nader Habib, Karim Design & Build.
 6. ADJOURNMENT



Meeting of the Committee of Adjustment
Monday September 13, 2021
Council Chamber, Fingal/via video link

MEMBERS PRESENT: Chairperson: Mayor Grant Jones
Members: Deputy Mayor Robert Monteith
Councillor Peter North,
Councillor: Justin Pennings

MEMBERS ABSENT: Councillor Sarah Emons (declared a pecuniary interest
and vacated her seat for the duration of discussion for
all applications)

Township Administration Present: Lisa Higgs, Secretary-Treasurer
Bryan Pearce, Planner

In Attendance:

- Michael Mels (M. Mels), owner of 35246 Fourth Line, Township of Southwold
- Jody Campbell (J. Campbell), owner of 35246 Fourth Line, Township of Southwold
- John Fife (J. Fife), family owns 35360 Fourth Line, Township of Southwold
- John Stevenson, owner 35282 Fifth Line, Township of Southwold

Chairperson Grant Jones opened the meeting and called it to order.

MV 2021-07 filed by Robert and Dorothy Fife C/O John Fife

The applicant for MV 2021-07 is proposing to seek relief from Section 3.20 Regulations of the General Provisions for Minimum Distance Separation Formulae (MDS I & II), to permit the following:

1. The expansion of the existing 67 metre (220 foot) diameter manure storage facility (pit), by covering up the existing hole at a side wall height of 3.0 metres (9.9 feet) within the existing side wall height of 4.4 metres (14.5 feet), to allow the manure storage facility (pit) to be filled up to 4.1 metres (13.5 feet) in height with a 0.3 metres (1 foot) of freeboard space at the top of the wall, with a reduced MDS-II setback, being the distance from the proposed dwelling to the existing manure storage facility (pit)

proposed to be expanded, from the required 595 metres (1,953 feet) to the proposed 300 metres (984.3 feet); and

2. A future proposed livestock and manure facility, with a reduced MDS-II setback to the proposed dwelling at 35246 Fourth Line, being no closer than 300 metres (984.3 feet), while still complying with the MDS-II setbacks to the other nearby dwellings.

Planner Bryan Pearce presented his report to the Committee explaining that notices were sent out in accordance to the requirements under *The Planning Act*. Mr. Pearce explained how section 45 (1) of *The Planning Act* outlines the four "tests" with which the Committee of Adjustment must be satisfied with when considering an application for a minor variance to the Zoning By-law. The Municipal Planner's report indicates that:

1. The variance maintains the intent and purpose of the Official Plan.
2. The variance maintains the intent and purpose of the Zoning By-law;
3. The variance requested is desirable for the appropriate and orderly development and use of the lands and buildings.
4. The variance is minor in nature.

Member Pennings expressed concern that the application for a future livestock facility means that the committee is approving a setback for something which the Committee does not have details on. He expressed reservations in understanding the scope of the variance requested, in the absence of these details.

Planner B. Pearce commented that the MDS-II triggers setbacks from the dwellings because of the odour of the proposed livestock facilities. The existing manure pit is 1421 ft away from the existing dwelling at 35507 Fourth Line; and would be 984 from the proposed dwelling at 35246 Fourth Line.

J. Fife commented that currently there is an MDS that protects their property and agricultural production. From the Fife's perspective, the new minor variance application which allows for a future facility is a a compromise so that both properties can proceed. Mr. Fife indicated that they are giving up 900ft with the house, but not a hinderance to their facility. Mr. Fife indicated that they are agreeable with a neighbouring home to be built, but are resistant in having anything closer, as they're concerned that this may tie up their hands for future potential on their farm.

J. Campbell reminded the committee that the decision is solely theirs and neighbouring properties should not be empowered to be decision makers. Ms. Campbell indicated that the committee asked both neighbours to meet which was completed, but they felt that they didn't get any clear answers. Ms. Campbell stated that she has no reason to oppose the expansion of the existing manure facility, however she feels it will be harder to sell or live on the property with the future facility.

The Secretary-Treasurer reported that staff have no concerns. Written comments from the Lower Thames Valley Conservation Authority were received and summarized in the staff report.

The Secretary Treasurer read aloud to the Committee comments received from Michael and Jody Mels:

C of A 2021-22

MOVED BY Member Pennings

SECONDED BY Member North

THAT the Committee of Adjustment of the Township of Southwold reserve its decision on Minor Variance Application MV 2021-07, to be considered after the public hearings, when oral and written comments have concluded, on both Minor Variance Applications 2021-06 and 2021-07, since there is mutual interest in the applications.

CARRIED

MV 2021-06, filed by Michael Mels and Jody Campbell

The applicant is proposing to seek relief from Section 3.20 Regulations of the General Provisions for Minimum Distance Separation Formulae (MDS I & II), to permit the construction of a 276 square metre (2,970 square foot) footprint area single detached dwelling with a reduced MDS-I setback, being the distance from the existing manure storage facility to the dwelling, from the required 528.1 metres (1732.6 feet) to the proposed 300 metres (984.3 feet).'

Planner Bryan Pearce presented his report to the Committee and explaining that notices were sent out in accordance to the requirements under The Planning Act. Mr. Pearce noted that this is a follow-up report, based on the August 9th 2021 Committee of Adjustment Public Hearing that was deferred, as a result of comments received on the application.

M. Mels commented that a restricted covenant was prepared by his lawyer indicating that his family will not complain about the odour.

Committee Member Monteith questioned if Mr. Mels supported the expansion of the manure pit. Mr. Mels responded that they were not opposed to the existing pit expansion, however they did not support a second manure facility.

Member North questioned whether the acceptance of this this minor variance would be we setting a precedent. Mr. Pearce responded no that each application is reviewed for its specific conditions. Member North commented that is the variance is almost 50% of the total required setback and sought direction on the appropriate reduction standard. Mr. Pearce responded that the term minor does not mean a number. The MDS calculation is black and white through zoning regulations, however the reduction of the MDS through the variance process looks at many site-specific factors, such as. facility area, animal type, manure type and storage design can be a factor as well as odour mitigation elements and site conditions.

The Secretary – Treasurer reported that comments were received from staff indicating they had no concerns. Comments received from the Ministry of Transportation were summarized in the staff report. All other written comments were received with the First Public Hearing that occurred on August 9th, 2021.

M. Mels questioned what the mediating factors for this property would be. Mr. Pearce responded that a HVAC system could be installed, enhanced tree planting to mitigate the odour and a notice for a warning clause could be put on title. This could be achieved by entering into an agreement with the municipality that could be implemented on the planning application.

J. Fife commented that their position is the same as the last meeting and their MDS consultant, Mr. Bannerman didn't think that this minor variance should go through.

Chairperson Jones commented that we hoped there could have been an agreement between property owners.

Member North questioned Mr. Mels if he would consider the Fife application to include a second facility. Mr. Mels responded that he would go to 500m instead of the 300m proposed, he may support it. Mr. Pearce commented that this would be a minimum setback and could be further expanded into an agreement as a condition.

C of A 2021-23

MOVED BY Member Pennings

SECONDED BY Member Monteith

THAT the Committee of Adjustment of the Township of Southwold reserve its decision on Minor Variance Application MV 2021-06, to be considered after the public hearings with oral and written comments have concluded on both Minor

Variance Applications 2021-06 and 2021-07, since there is mutual interest.

CARRIED

Chairperson Jones advised the committee and those in attendance that the Committee will now consider the decision on applications MV 2021-06 and 2021-07. Please be advised that the last day for appealing this decision is October 4th, 2021. If you wish to be notified of the decision of the Committee in respect of this application, you must submit a **written request** to the Township of Southwold Committee of Adjustment. If you are not the applicant, you should request a copy of the decision since it may be appealed to the Ontario Land Tribunal (formerly the Local Planning Appeal Tribunal) by the applicant or another member of the public.

C of A 2021-24

MOVED BY Chairperson Jones
SECONDED BY Member Monteith

THAT the Committee of Adjustment refuses Minor Variance Application MV 2021-07, filed by R and D. Fife C/O J. Fife as per the attached decision sheet.

CARRIED

C of A 2021-25

MOVED BY Chairperson Jones
SECONDED BY Member Monteith

THAT the Committee of Adjustment refuses Minor Variance Application MV 2021-06, filed by M. Mels and J. Campbell as per the attached decision sheet.

CARRIED

C of A 2021-26

MOVED BY Member Pennings
SECONDED BY Member Monteith

RESOLVED that the minutes of the Committee of Adjustment meeting of August 9, 2021 are hereby adopted.

CARRIED

C of A 2021-027

MOVED BY Member North

SECONDED BY Member Pennings

RESOLVED that the meeting of the Committee of Adjustment to hear Applications MV 2021-07, filed by Robert and Dorothy Fife C/O John Fife and MV 2021-06, filed by Michael Mels and Jody Campbell C/O Michael Mels closes at **8:19 p.m.** and the regular meeting of council reconvene.

CARRIED

Chairperson

Secretary-Treasurer



TOWNSHIP OF SOUTHWOLD

Report to Committee of Adjustment

MEETING DATE: September 27, 2021

PREPARED BY: Bryan Pearce, HBA, CPT, MCIP, RPP, Planner

REPORT NO: PLA 2021-31

SUBJECT MATTER: Minor Variance Application **MV 2021-08 – Recommendation Report**

Recommendation(s):

THAT Committee of Adjustment of the Township of Southwold receive Report PLA 2021-31 regarding Minor Variance Application ZBA 2021-08 – Recommendation Report;

AND THAT Committee of Adjustment of the Township of Southwold approve the proposed Minor Variance Application MV 2021-08, to obtain relief from Section 3.3 Regulations of the General Provisions for Construction Uses, to permit the existing travel trailer to be utilized for overnight accommodation for a period of time in advance of the construction and occupancy of the future proposed single detached dwelling, subject to the following conditions:

1. That the proposed development is substantially in accordance with the Minor Variance MV2021-08 drawings, as appended to Report PLA 2021-31.
2. That a building permit for the proposed new single detached dwelling be issued by June 30, 2022 on the subject property, otherwise the travel trailer cease being used for overnight accommodation on the subject property.
3. That the travel trailer not be occupied from December 1st of the current calendar year to June 1st of the following calendar year.
4. That within 30 days of an occupancy permit being issued for the proposed new dwelling, the travel trailer cease being used for overnight accommodation on the subject property.
5. That a fire inspection be completed, at the expense of the owner, prior to occupancy of the trailer.

Purpose:

The proposal is to seek relief from Section 3.3 Regulations of the General Provisions for Construction Uses, to permit the existing travel trailer to be utilized for overnight accommodation for a period of time in advance of the construction and occupancy of the future proposed single detached dwelling.

Background:

Below is a background information, in a summary chart:

Application	MV 2021-08
Owner/Applicant	Arlen and Linda Scherba
Legal Description	South Part Lot 1 and 2, Concession SNBBTR
Civic Address	8686 Iona Road
Entrance Access	Iona Road
Water Supply	Municipality of Dutton Dunwich water supply
Sewage Supply	None
Use of Property	Existing: Agricultural and natural area Proposed: Agricultural and natural area
Buildings	Existing: None Proposed: Proposed house in 2022
Existing Land Area	34.1 ha (84.3 ac)
Official Plan Land Use Designation	Agricultural
Zoning Category	Agricultural 1 (A1), with Natural Areas and Adjacent Lands constraint and Conservation Authority Regulation Limits (Schedule A, Map 5)

Figure One below, depicts the existing parcel of the Scherba Lands.

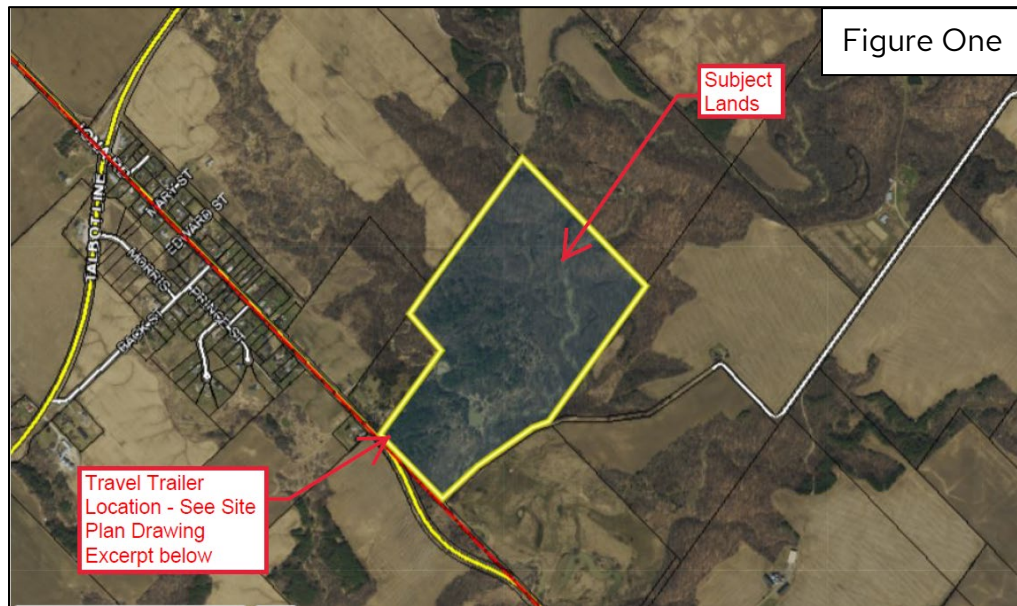
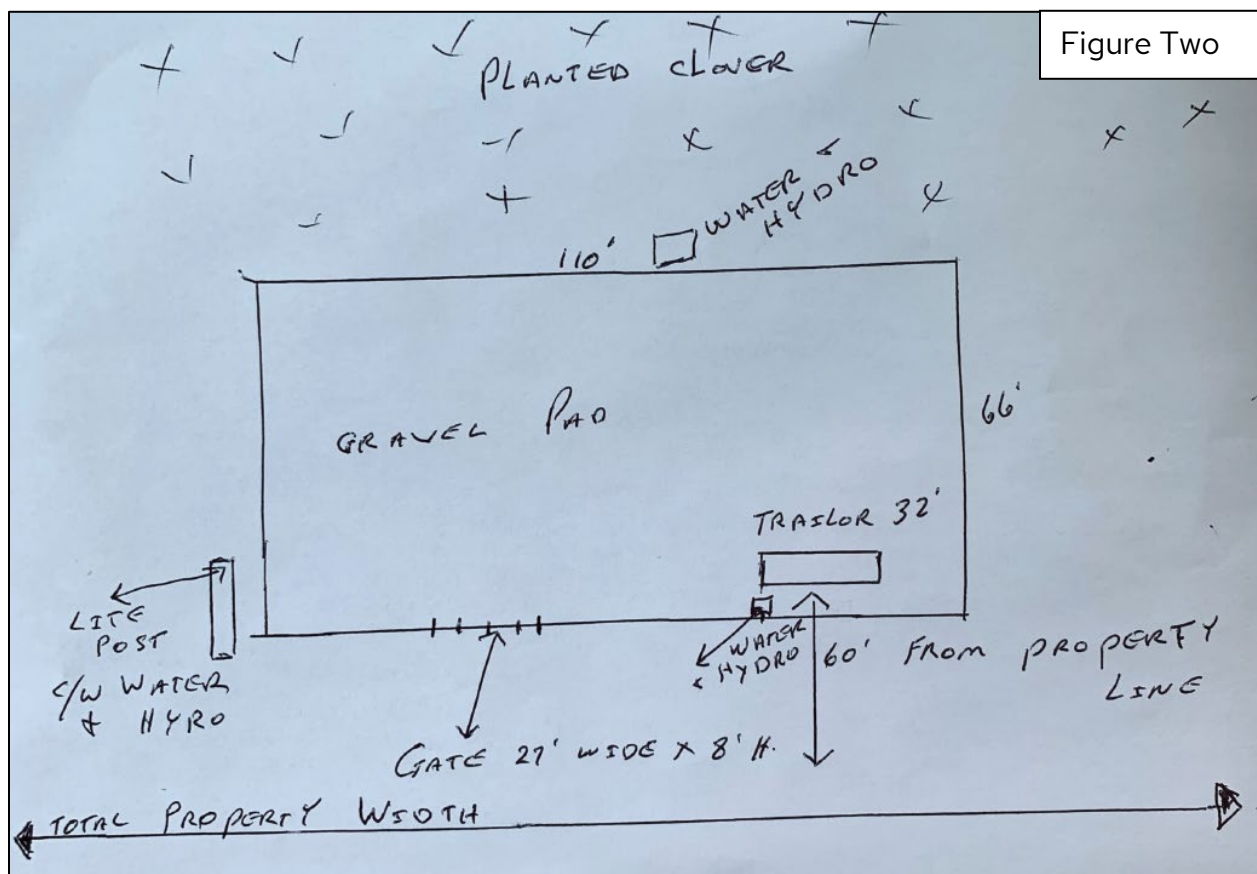


Figure Two below is an excerpt of the site plan drawing submitted:



Comments/Analysis:

Planning Policy Review:

Provincial Policy Statement

Under Section 3(5) of the *Planning Act*, the Township “shall be consistent with” matters of provincial interest as set out in the Provincial Policy Statements (PPS).

Agricultural policies under Section 2.3 of the PPS permits agricultural uses. New land uses, including the creation of lots and new or expanding livestock facilities shall comply with the minimum distance separation formulae.

The Applicant has a scoped Environmental Impact Study (EIS) completed by Vroom + Leonard, dated May 2021, noting there are no adverse or unalterable impacts to the natural heritage features within the study area, with the owner’s intent to construct a dwelling. The study area includes the area where the existing travel trailer is located. Therefore, there are no issues of concern from the natural heritage perspective, pursuant to Section 2.1 of the PPS.

This proposed Minor Variance is consistent with the PPS.

County of Elgin Official Plan

The subject lands are designated Agricultural Area on Schedule ‘A’ Land Use in the County of Elgin Official Plan (CEOP). Section C2.3 of the CEOP permits agricultural uses and single detached dwellings with the agricultural use, conforming to this proposal.

The subject lands are constraint with woodlands constraint, as depicted in Appendix #1 of the CEOP. As findings of the EIS, no negative impacts are proposed within the natural heritage feature or their ecological function within the significant woodlands, as noted in Section D1.2 of the CEOP.

Therefore, this proposed Minor Variance conforms to the CEOP.

Four Tests Of The Minor Variance:

Section 45(1) of the *Planning Act* gives the authority of granting minor relief from the provisions of the Zoning By-law to the Committee of Adjustment. Such relief can only be granted if the Minor Variance passes four tests. If the Committee is not satisfied on all four tests, then the Minor Variance cannot be approved.

1. *Does the variance maintain the intent and purpose of the Township of Southwold Official Plan?*

Yes. The subject lands are designated Agricultural on Schedule 'A' Land Use in the Township of Southwold Official Plan. Section 4.1 agricultural land use policies allow for agricultural uses and limited residential uses. The proposal would allow for use of a travel trailer for overnight accommodation in advance of the construction of the dwelling planned in 2021. An EIS was completed, as noted above, meeting Section 2.1 policies of the Official Plan.

Therefore, the proposal does not contravene the Official Plan policies.

2. *Does the variance maintain the intent and purpose of the Township of Southwold Zoning By-law?*

Yes. The subject lands are zoned Agricultural 1 (A1) Zone in the Township of Southwold Zoning By-law 2011-14, Schedule 'A', Map 5. A single detached dwelling is a permitted use in the Agricultural 1 (A1) Zone. As noted above, an EIS has been completed, addressing Section 3.4 regulations for natural areas and adjacent lands of the Zoning By-law.

Section 3.3 of the Zoning By-law allows mobile home, trailer, amongst others uses, buildings and structures incidental to and necessary for construction work, provided such uses, buildings or structures area used only for as long as are reasonably necessary for work in progress which has neither been finished nor abandoned, or a period of one year whichever is lesser; and provided such buildings or structures are not used as a dwelling unit. The owner's intent is to permit the existing travel trailer to be utilized for overnight accommodation for a period of time in advance of the construction and occupancy of the future proposed single detached dwelling. The Owner's intent to build in 2022 and wishes to have the occasional overnight accommodation in the travel trailer from June 1st to December 1st accordingly in advance of this.

3. *Is the variance requested desirable for the appropriate and orderly development and use of the lands and buildings?*

Yes. The variance will enable the owner to occasionally stay overnight at their property in advance of the dwelling being constructed in 2022. This allows the property owner to utilize their property and do maintenance in advance of the dwelling being built in 2022. When the dwelling is occupied, the travel trailer will not be needed any longer. The property is well vegetated, as demonstrated through the EIS and ensures there is no negative impacts to the natural heritage features, in balancing the environment.

4. *Is the variance minor in nature?*

Yes. The meaning of 'minor' is not based on a specific number, where a difference of a number of feet determines whether or not the development is acceptable. It is more appropriate to base this test on the degree of potential impact on neighbouring property owners; the environment; and the municipal, County, or provincial functions.

It is anticipated the proposed use of the travel trailer for occasional overnight accommodation would have negligible impacts to the neighbouring property owners with the intent to construct a proposed dwelling in 2022, subject to the recommended conditions, due to site location, existing topography, and mature tree inventory that would aid in mitigating impacts.

The impact from the proposed variance is negligible with respect to the environment, Township functions, County functions, or provincial functions and surrounding property owners.

Circulation Of The Application:

The application was circulated to the applicable Township Departments, Commenting Agencies, neighboring property owners within 60 metres of the subject lands, and to those that expressed interest in the application through the public hearing on September 16, 2021, 11 days prior to the public hearing (minimum 10 days required).

Additional information related to the application is available on the website:

<https://www.southwold.ca/en/business-and-development/current-planning-applications.aspx#MV-2021-08-8686-lona-Road>

Township Department Comments

The proposed minor variance application was circulated to Township staff for comment.

Public Works indicated that they had no concerns.

The Deputy CBO stated that they had "No concerns from building department for using travel trailer as a dwelling, other than does this permit them to live here over the cold months that are approaching? If so, what will they do for heat and water? Should we be ensuring that there are working smoke and c/o detectors in the trailer?". The Deputy CBO comments are addressed in the conditions with a requirement for no occupancy over winter months and a Fire Inspection.

Agency Comments

No comments were received from applicable commenting agencies at time of writing of this report.

Public Comments

At the time of submission of this report, no written comments from the public have been received related to the Minor Variance.

A solicitor of the Owners of 8728 Iona Road has inquired about the site location in relation of the client's dwelling and requested a copy of the EIS. No further comments were received from the public at time of writing this report.

Financial Implications:

None. Application fees were collected in accordance with the Township's Tariff of Fees By-law, as amended time to time.

Strategic Plan Goals:

The above recommendation helps the Township meet the Strategic Plan Goal of:

☒ Promoting residential, agricultural, commercial, and industrial development by ensuring policies and services are in place to support growth in The Township of Southwold.

☒ Promoting public engagement, transparent government, and strong communications with all members of the community across various mediums for the strengthening of civic participation.

SUMMARY/CONCLUSION:

The application has been assessed for appropriateness with regard to existing policy and the impact of the proposal on the surrounding land uses. The application maintains the intent and purpose of the Official Plan and Zoning By-law, desirable for the appropriate and orderly development and use of the lands and buildings and is minor in nature; and therefore the minor variance application satisfies the four tests pursuant to Section 45(1) of the *Planning Act*, and constitutes good land use planning.

Planning Staff recommends that the request for Minor Variance be conditionally approved, subject to no concerns being raised through any oral and written submissions being received since the writing of this report and at the public hearing.

Once a Committee of Adjustment decision is made, Notice will be sent to those who have requested a copy and/or attended the public hearing.

There will be a 20 day appeal period from the Decision in which the Notice will be sent out within 10 days of the Decision. Any appeals received by the Township of Southwold will be forwarded to the Ontario Land Tribunal (formerly Local Planning Appeal Tribunal) for a hearing, in accordance with the *Planning Act*.

Respectfully submitted by:
Bryan Pearce, HBA, CPT, MCIP, RPP
Planner

Approved for submission by:
Lisa Higgs
CAO/Clerk

Appendices:

1. Appendix One: Minor Variance Application MV 2021-08 Drawings









PLA 2021-31

APPENDIX ONE: MV 2021-08 DRAWINGS

SCALE 1:1250 (METRIC)

J. PAUL CROCKER
ONTARIO LAND SURVEYOR



LEGEND

- DENOTES SURVEY MONUMENT SET
- DENOTES SURVEY MONUMENT FOUND
- DENOTES IRON BAR
- DENOTES STANDARD IRON BAR
- DENOTES WITNESS
- 783 DENOTES FREDERICK A. BELL O.L.S.
- 1130 DENOTES ROBERT L. LAMON O.L.S.
- DENOTES J.G. RUPERT O.L.S.
- DENOTES BURIED
- DENOTES MEASURED
- DENOTES SET
- P1 DENOTES REGISTERED PLAN D687
- P2 DENOTES PLAN BY J.G. RUPERT DATED FEB. 3, 1966 (71.2, 66-11-1795)
- P3 DENOTES PLAN 118-9024
- D1 DENOTES INSTRUMENT NO. 200492
- NT DENOTES NON TANGENTIAL

INTEGRATION DATA

BEARINGS ARE MTM GRID DERIVED FROM OBSERVED REFERENCE POINTS 1 AND 2, MTM-11 NAD-1983/CSRS/BNV8-2010.0.

FOR BEARING COMPARISONS, A ROTATION OF 0°44'40" COUNTER-CLOCKWISE, WAS APPLIED TO THE BEARINGS FROM P1, P2 AND D1.

FOR BEARING COMPARISONS, A ROTATION OF 0°41'55" COUNTER-CLOCKWISE, WAS APPLIED TO THE BEARINGS FROM P3.

ALL DIMENSIONS SHOWN ARE MEASURED, UNLESS OTHERWISE NOTED.

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999996207.

OBSERVED REFERENCE POINTS (ORP's) DERIVED FROM REAL TIME NETWORK OBSERVATIONS (RTN) AND ARE REFERRED TO MTM ZONE 11 NAD83/CSRS/BNV8-2010.0 COORDINATES COMPLY WITH RURAL ACCURACY PER SEC. 14 (2) OF O.R.S. 218/110

POINT ID	NORTHING	EASTING
1	4720609.89	396940.41
2	4728055.22	396495.74

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- (1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- (2) THE SURVEY WAS COMPLETED ON THE 13th DAY OF FEBRUARY, 2020.

February 14, 2020
DATE

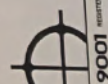
J. Paul Crocker
J. PAUL CROCKER
ONTARIO LAND SURVEYOR

METRIC DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

C:_cdm\1\UNO\2010\19-23012\PLAN\SURVEY-1101.dwg February 14, 2020

Callon + Dietz INCORPORATED

ONTARIO LAND SURVEYORS
CARLETON PLACE LONDON NORTH BAY
info@callondietz.com callondietz.com



SURVEY BY: CJ/LM DRAWN BY: KC/BO FILE NO: 19-23012 PLAN NO: E-1101

1006050

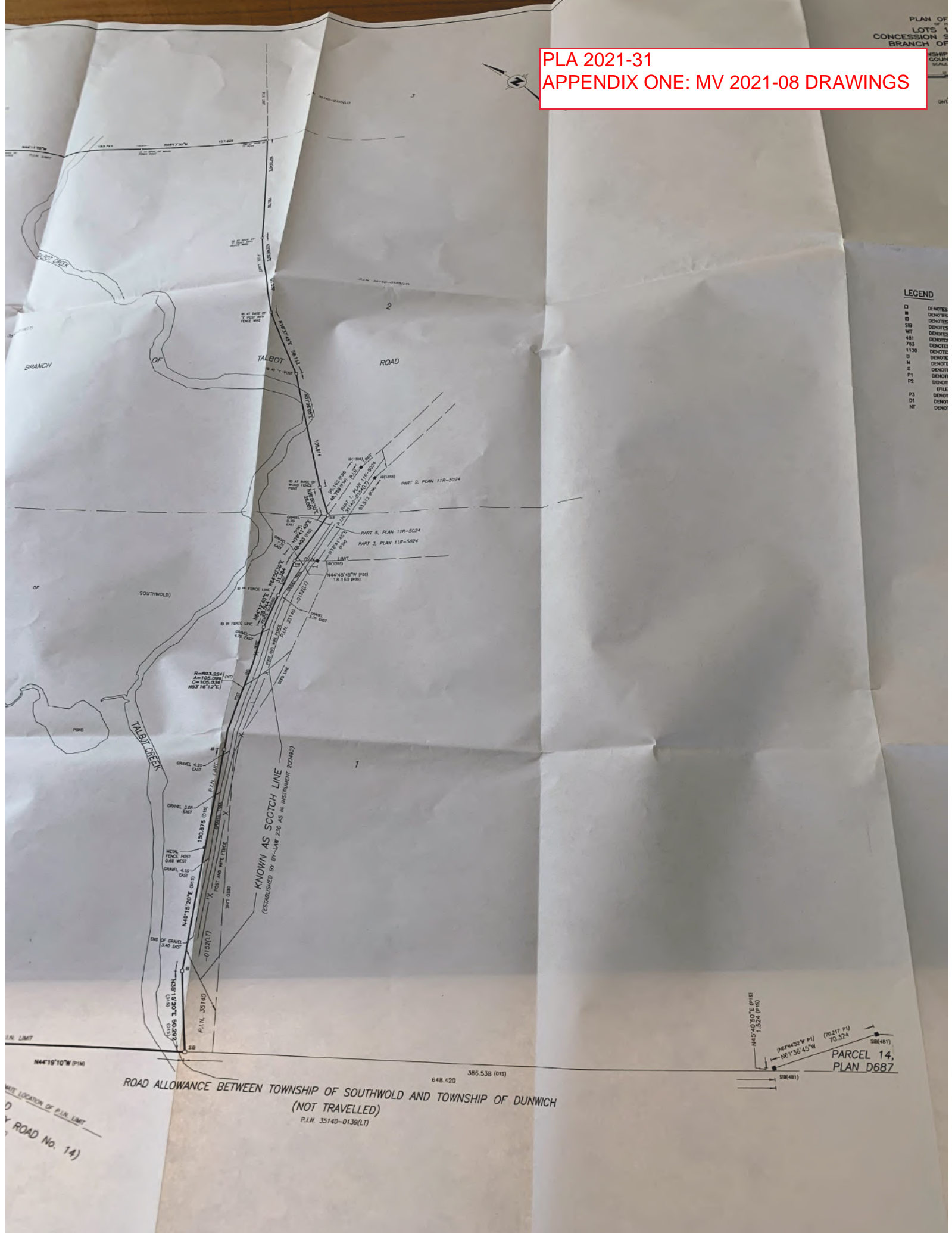
ND TOWNSHIP OF DUNWICH

PARCEL 14,
PLAN D687

PLA 2021-31
APPENDIX ONE: MV 2021-08 DRAWINGS

LEGEND

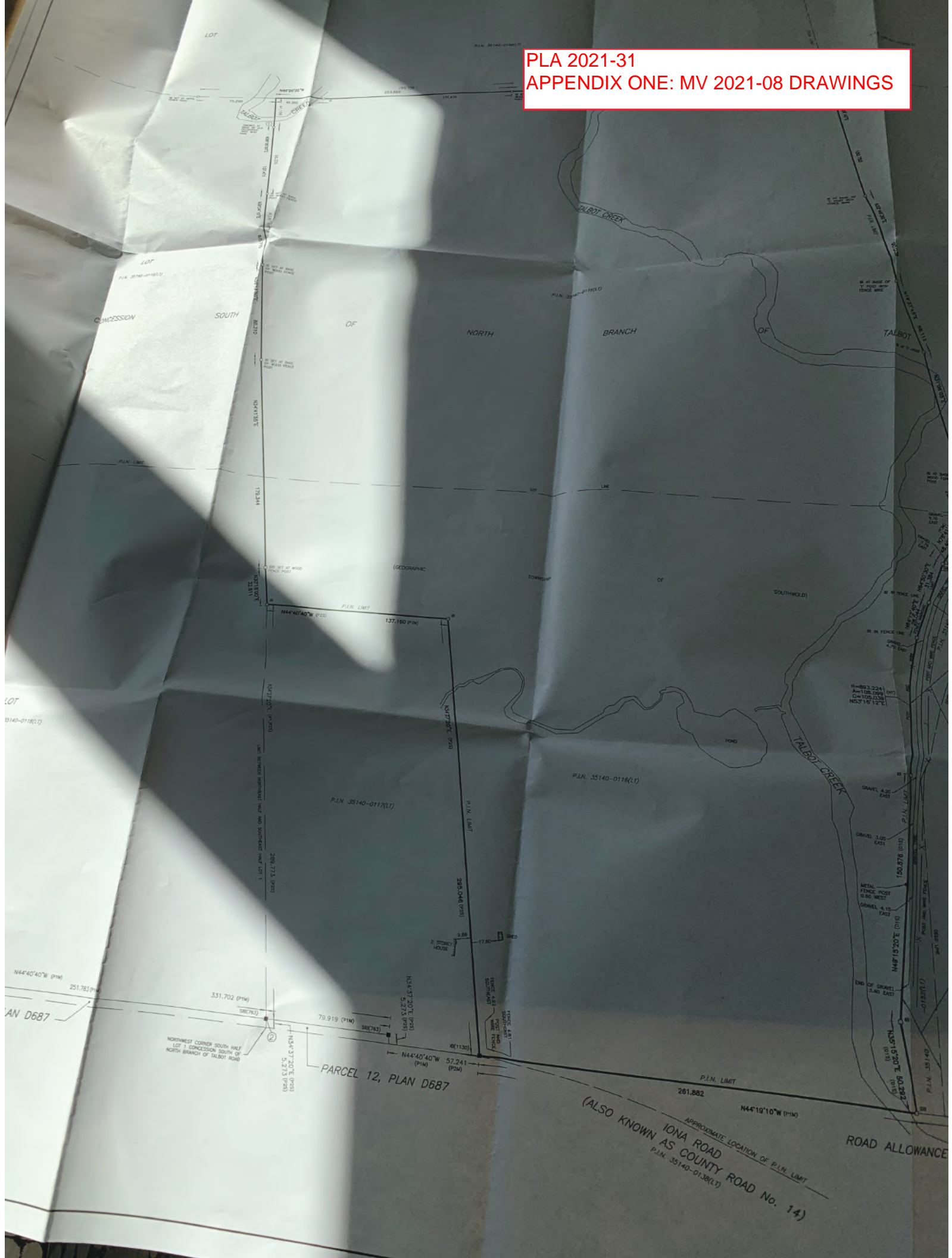
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M	DENOTES
S	DENOTES
SB	DENOTES
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S	DENOTES
P1	DENOTES
P2	DENOTES
P3	DENOTES
D1	DENOTES
WT	DENOTES



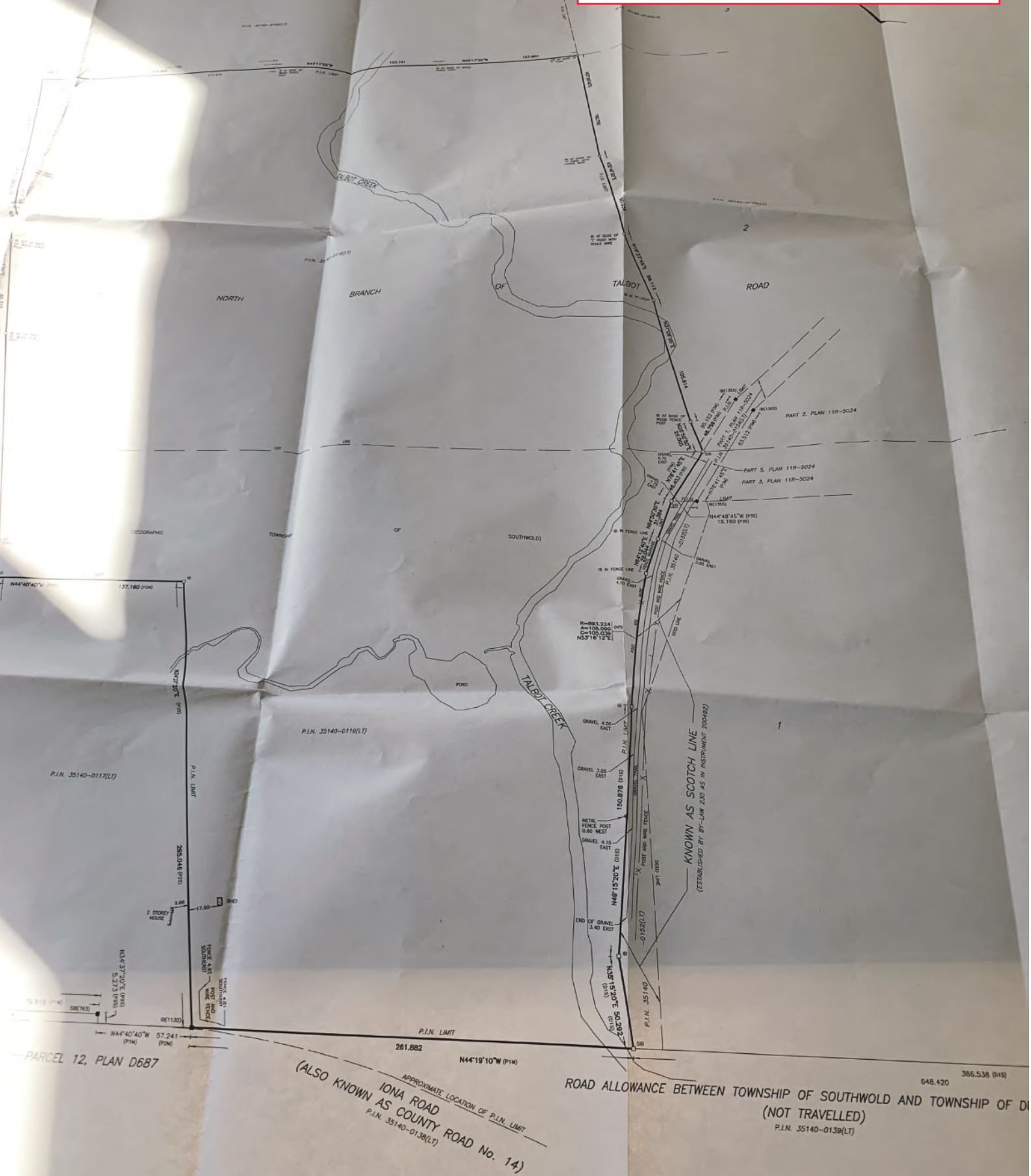
ROAD ALLOWANCE BETWEEN TOWNSHIP OF SOUTHWOLD AND TOWNSHIP OF DUNWICH
(NOT TRAVELLED)
P.L.N. 35140-0139(LT)

PARCEL 14,
PLAN D687

PLA 2021-31
APPENDIX ONE: MV 2021-08 DRAWINGS

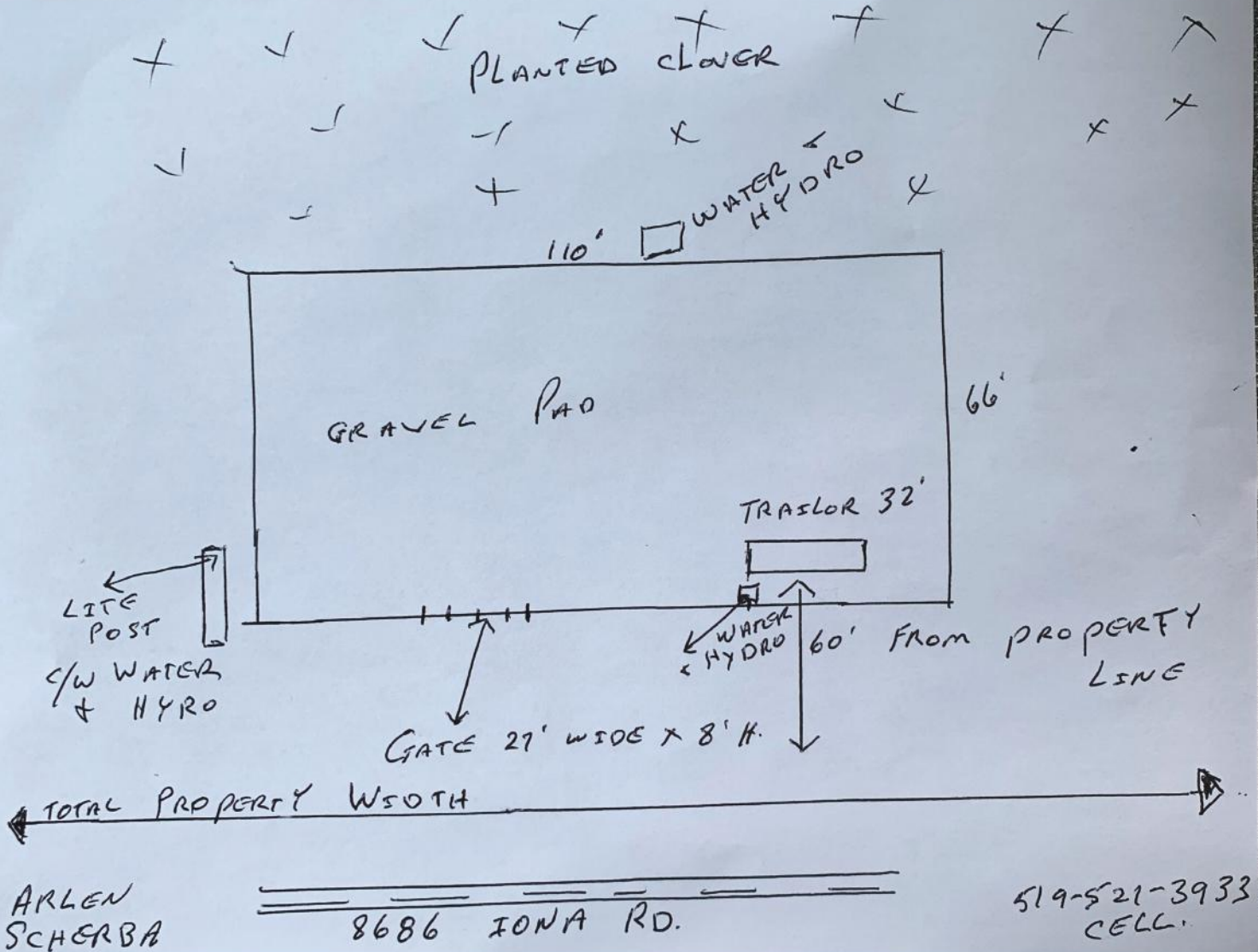


PLA 2021-31
APPENDIX ONE: MV 2021-08 DRAWINGS



PLA 2021-31

APPENDIX ONE: MV 2021-08 DRAWINGS





TOWNSHIP OF SOUTHWOLD

Report to Committee of Adjustment

MEETING DATE: September 27, 2021

PREPARED BY: Bryan Pearce, HBA, CPT, MCIP, RPP, Planner

REPORT NO: PLA 2021-32

SUBJECT MATTER: Minor Variance Application **MV 2021-09 – Recommendation Report**

Recommendation(s):

THAT Committee of Adjustment of the Township of Southwold receive Report PLA 2021-32 regarding Minor Variance Application ZBA 2021-09 – Recommendation Report;

AND THAT Committee of Adjustment of the Township of Southwold approve the proposed Minor Variance Application MV 2021-09, to obtain relief from Section 8.2(e) Regulations of the Residential 1 (R1) Zone to permit the construction of a 257 square metre (2,761 square foot) gross floor area, two storey single detached dwelling with a reduced exterior side yard setback from the required 6.0 metres (19.7 feet) to the proposed 4 metres (13.1 feet), subject to the following conditions:

1. That the proposed development is substantially in accordance with the Minor Variance MV2021-09 drawings, as appended to Report PLA 2021-32.

Purpose:

The proposal is to seek relief from Section 8.2(e) Regulations of the Residential 1 (R1) Zone to permit the construction of a 257 square metre (2,761 square foot) gross floor area, two storey single detached dwelling with a reduced exterior side yard setback from the required 6.0 metres (19.7 feet) to the proposed 4 metres (13.1 feet).

Background:

Below is a background information, in a summary chart:

Application	MV 2021-09
Owner/Applicant	Farhi Holdings Corporation

Legal Description	Lot 62, Plan 11M-249
Civic Address	99 Royal Crescent
Entrance Access	Royal Crescent
Water Supply	Township water supply
Sewage Supply	Township sewer system
Use of Property	Existing: residential Proposed: residential
Buildings	Existing: None Proposed: Proposed dwelling
Existing Land Area	651.68 sqm (7,014.62 sqft)
Official Plan Land Use Designation	Residential
Zoning Category	Residential 1 (R1) (Schedule A, Map 12)

Figure One below, depicts the existing parcel of the Farhi Holdings Corporation Lands.

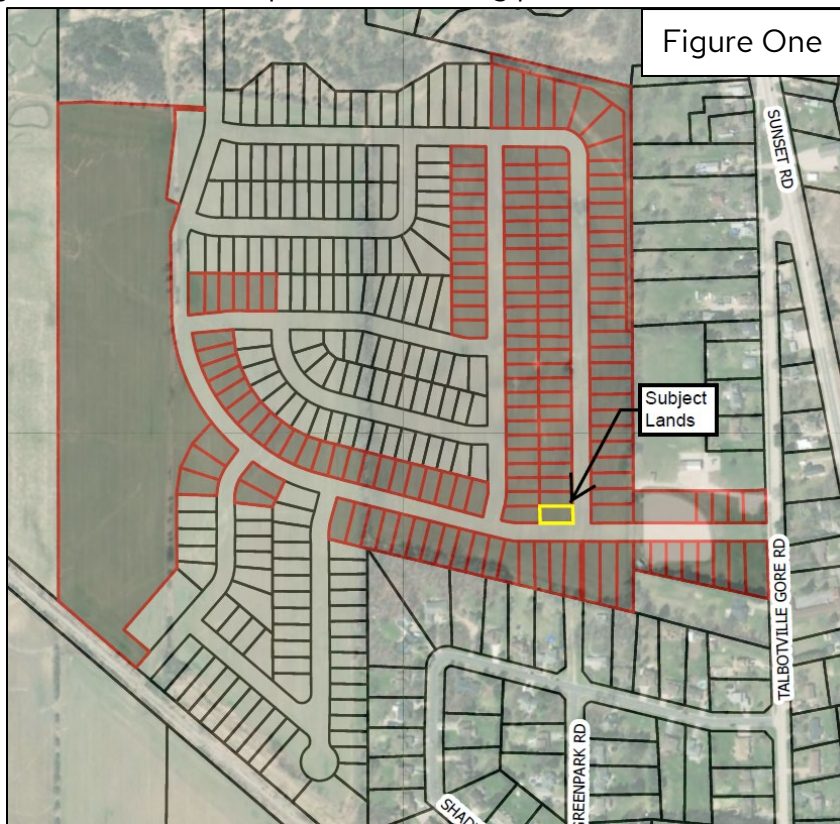
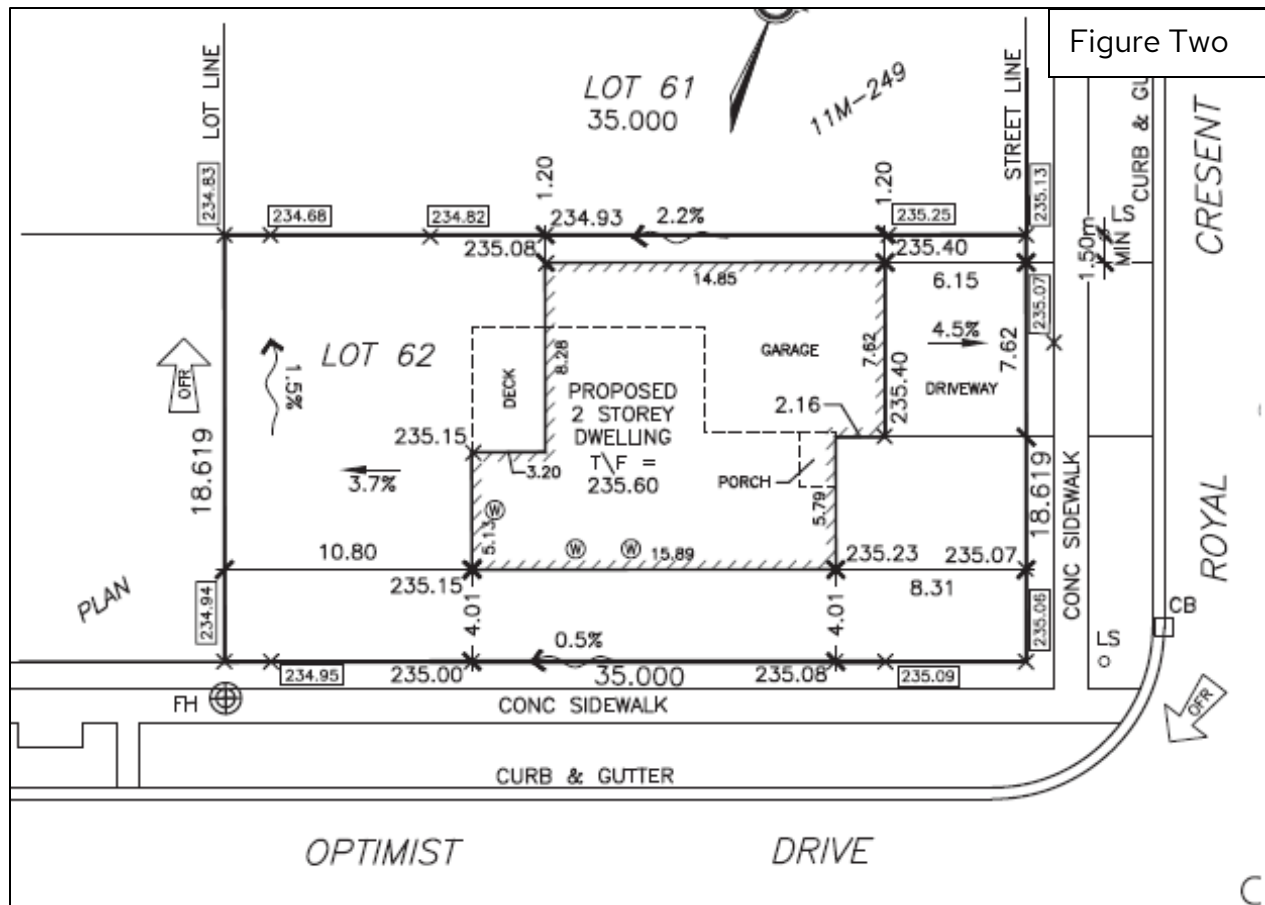


Figure Two below is an excerpt of the site plan drawing submitted:



Comments/Analysis:

Planning Policy Review:

Provincial Policy Statement

Under Section 3(5) of the *Planning Act*, the Township "shall be consistent with" matters of provincial interest as set out in the Provincial Policy Statements (PPS).

Section 1.1.3 of the PPS states that settlement areas shall be the focus of growth and development.

This proposed Minor Variance is consistent with the PPS.

County of Elgin Official Plan

The subject lands are designated Tier 2 Settlement Area as shown on Schedule 'A' Land Use in the County of Elgin Official Plan (CEOP). In the Tier 2 Settlement Area designation, residential use such as a single detached dwelling use is permitted.

Therefore, this proposed Minor Variance conforms to the CEOP.

Four Tests Of The Minor Variance:

Section 45(1) of the *Planning Act* gives the authority of granting minor relief from the provisions of the Zoning By-law to the Committee of Adjustment. Such relief can only be granted if the Minor Variance passes four tests. If the Committee is not satisfied on all four tests, then the Minor Variance cannot be approved.

1. *Does the variance maintain the intent and purpose of the Township of Southwold Official Plan?*

Yes. The subject lands are designated Residential on Schedule 'A-1' Talbotville Settlement Area of the Township of Southwold Official Plan. A single detached dwelling is permitted in the 'Residential' designation. The proposed reduced minimum exterior side yard does not contravene the Official Plan policies.

2. *Does the variance maintain the intent and purpose of the Township of Southwold Zoning By-law?*

Yes. The subject lands are zoned Residential 1 (R1) Zone in the Township of Southwold Zoning By-law 2011-14, Schedule 'A', Map 12. A single detached dwelling is a permitted use in the Residential 1 (R1) Zone. With the exception of the proposed reduced minimum side yard, the application complies with all remaining zoning provisions. The proposed dwelling would impact the exterior side yard setback for the whole side face of the dwelling, but still maintains adequate side yard for site visibility on the corner lots of Royal Crescent and Optimist Drive, as per Section 3.44 of the Zoning By-law, being a 6 metre by 6 metre triangle for a Township Road intersection.

3. *Is the variance requested desirable for the appropriate and orderly development and use of the lands and buildings?*

Yes. The variance will enable the owner to construct a single detached dwelling with a reduced minimum exterior side yard. Due to the proposed size of the dwelling, it is unable to meet the exterior side yard requirement. At the time of the issuance of the building

permit, the owner will need to demonstrate that the lot grading and lot drainage for the lands will not be compromised as a result of the reduced exterior side yard and comply with the subdivision agreement. The variance will not impede the function of the exterior side yard and still provides for special separation from the street.

4. *Is the variance minor in nature?*

Yes. The meaning of 'minor' is not based on a specific number, where a difference of a number of feet determines whether or not the development is acceptable. It is more appropriate to base this test on the degree of potential impact on neighbouring property owners; the environment; and the municipal, County, or provincial functions.

The impact from the proposed variance is negligible with respect to the environment, Township functions and surrounding property owners.

Circulation Of The Application:

The application was circulated to the applicable Township Departments, Commenting Agencies, neighboring property owners within 60 metres of the subject lands, and to those that expressed interest in the application through the public hearing on September 16, 2021, 11 days prior to the public hearing (minimum 10 days required).

Additional information related to the application is available on the website:

<https://www.southwold.ca/en/business-and-development/current-planning-applications.aspx#MV-2021-09-99-Royal-Crescent>

Township Department Comments

The proposed minor variance application was circulated to Township staff for comment.

The Public Works Department noted the following:

- That the reduced side yard setback could reduce sight lines at the intersection of Optimist Drive and Royal Crescent not by just the footprint of the house but any future landscaping and plantings that are bound to be associated.

Planning Staff notes that the zoning by-law requires a 6m by 6m sight visibility triangle, which is achieved with the proposed dwelling. The Applicant can make note on the landscaping and planting requirements through the general provisions of the Zoning By-law.

The building department indicated that they had no concerns.

No other comments were received.

Agency Comments

Kettle Creek Conservation Authority – No concerns.

Ministry of Transportation – No concerns.

No further comments were received from applicable commenting agencies at time of writing of this report.

Public Comments

At the time of submission of this report, no written comments from the public have been received related to the Minor Variance.

Financial Implications:

None. Application fees were collected in accordance with the Township's Tariff of Fees By-law, as amended time to time.

Strategic Plan Goals:

The above recommendation helps the Township meet the Strategic Plan Goal of:

- ☒ Promoting residential, agricultural, commercial, and industrial development by ensuring policies and services are in place to support growth in The Township of Southwold.

- ☒ Promoting public engagement, transparent government, and strong communications with all members of the community across various mediums for the strengthening of civic participation.

SUMMARY/CONCLUSION:

The application has been assessed for appropriateness with regard to existing policy and the impact of the proposal on the surrounding land uses. The application maintains the intent and purpose of the Official Plan and Zoning By-law, desirable for the appropriate and orderly development and use of the lands and buildings and is minor in nature; and therefore the minor variance application satisfies the four tests pursuant to Section 45(1) of the *Planning Act*, and constitutes good land use planning.

Planning Staff recommends that the request for Minor Variance be conditionally approved, subject to no concerns being raised through any oral and written submissions being received since the writing of this report and at the public hearing.

Once a Committee of Adjustment decision is made, Notice will be sent to those who have requested a copy and/or attended the public hearing.

There will be a 20 day appeal period from the Decision in which the Notice will be sent out within 10 days of the Decision. Any appeals received by the Township of Southwold will be forwarded to the Ontario Land Tribunal (formerly Local Planning Appeal Tribunal) for a hearing, in accordance with the *Planning Act*.

Respectfully submitted by:
Bryan Pearce, HBA, CPT, MCIP, RPP
Planner

Approved for submission by:
Lisa Higgs
CAO/Clerk

Appendices:

1. Appendix One: Minor Variance Application MV 2021-09 Drawings

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NOTE: GARAGE CUT DOES NOT TAKE INTO ACCOUNT THE THICKNESS OF THE GARAGE SLAB.

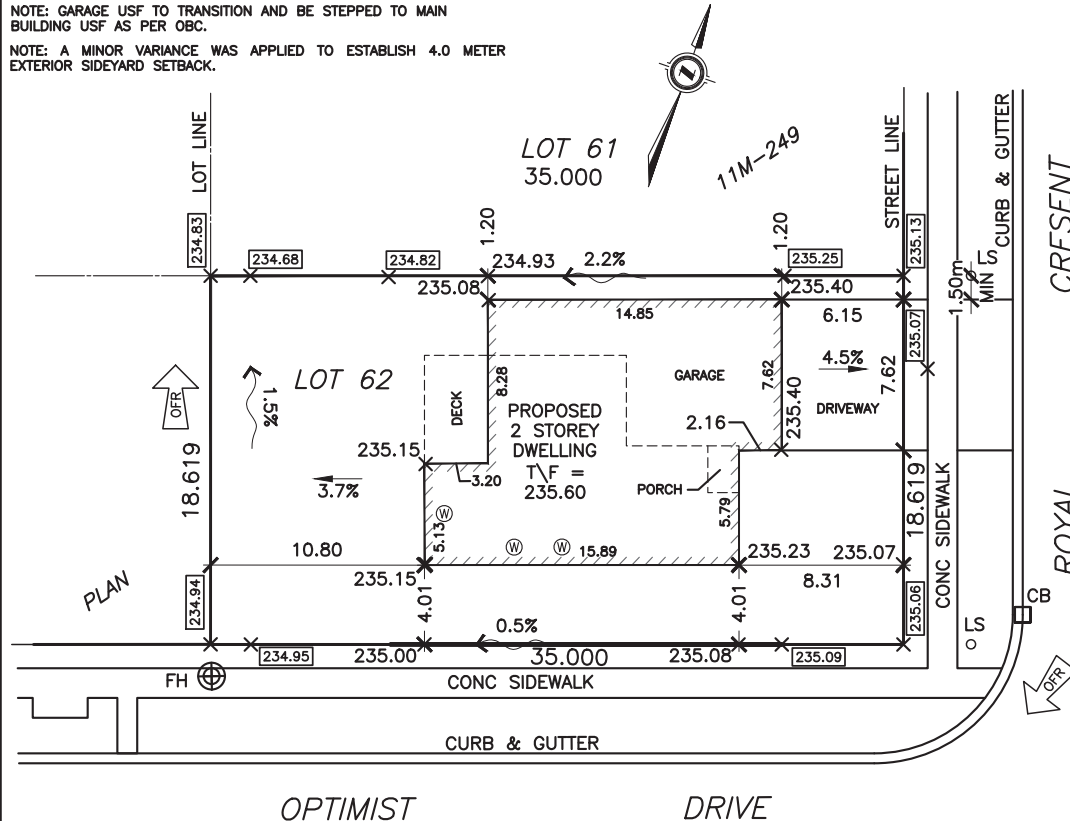
NOTE: ELEVATION OF SANITARY SEWER PDC TO BE VERIFIED ON SITE, PRIOR TO EXCAVATION TO DESIGN UNDERSIDE OF FOOTING ELEVATION.

NOTE: SIDEWALK BUILT IN SIDEYARDS MAY REQUIRE RETAINING WALLS.

NOTE: GARAGE USF TO TRANSITION AND BE STEPPED TO MAIN BUILDING USF AS PER OBC.

NOTE: A MINOR VARIANCE WAS APPLIED TO ESTABLISH 4.0 METER EXTERIOR SIDEYARD SETBACK.

NOTE: THE PROPOSED BUILDING TIES TO THE PROPERTY LINES ARE DIMENSIONED AS A REFERENCE ONLY TO MEET MUNICIPAL REQUIREMENTS AND HAVE NOT BEEN ESTABLISHED BY A SURVEY.



LOT GRADING PLAN

OF ALL OF

LOT 62, PLAN 11M-249

MUNICIPAL NUMBER 99

IN THE TOWNSHIP OF SOUTHWOLD COUNTY OF ELGIN

NOTES:

TOP OF FOUNDATION ELEV.	= 235.60m
8'-5" FDN. WALL HEIGHT MAIN BLDG.	(2.57m)
0'-6" THICK FOOTING	(0.15m)
UNDERSIDE OF FOOTING ELEV. • MAIN BLDG.	= 232.88m
5'-2 1/2" FDN. WALL HEIGHT GARAGE	(1.59m)
0'-6" THICK FOOTING	(0.15m)
UNDERSIDE OF FOOTING ELEV. • GARAGE	= 233.86m
8" GARAGE CUT	(0.20m)
GARAGE CUT ELEV.	= 235.40m
DRIVEWAY SLOPE	= 4.5%
WINDOW SIZE	= 36"H X 48"W
BASEMENT WINDOW SILL ELEV.	= 234.69m

LEGEND:

X 271.00	PROPOSED SPOT ELEVATION
X 271.00	SUBDIVISION GRADE (BY OTHERS)
2.0%	PROPOSED SWALE
2.0%	PROPOSED SLOPE
PROPOSED BUILDING	
(W)	PROPOSED WINDOW WELL
OFR	OVERLAND FLOW ROUTE (BY OTHERS)

REFERENCE DOCUMENTS:

- SUBDIVISION GRADING BY STRIK, BALDINELLI, MONIZ LTD., FILE No. SBM 19-0116, STAMPED 2021-03-30.
- BUILDING DESIGN INFORMATION BY PHIL ALVES, FILE No. 21-059_Lot 62 Royal Cres_down.dwg, DATED 2021-03-22.
- PLAN OF SUBDIVISION REFERENCE 11M-249.

ENGINEER'S CERTIFICATE:

I HEREBY CERTIFY THAT THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING DESIGN AND THAT THE PROPOSED GRADING IS IN GENERAL CONFORMITY FOR DRAINAGE AND RELATIVE ELEVATIONS, WITH THE ACCEPTED SUBDIVISION GRADING PLANS FILED WITH THE CITY ENGINEER AND/OR ATTACHED TO THE SUBDIVISION AGREEMENT.

ZONING BASED ON : R1

COVERAGE CALCULATIONS

	AREA (m ²)	COVERAGE (%)
SITE AREA	651.68	100.00
LOT COVERAGE	220.50	33.84
DRIVEWAY AREA	46.86	7.19
LANDSCAPE AREA	384.32	58.97

**PRELIMINARY
NOT FOR
CONSTRUCTION**

CAUTION: THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

DISTANCES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



CERTIFICATION OF LOT GRADING DESIGN BY: B. R. HYLAND, P. ENG.
STRIK, BALDINELLI, MONIZ LTD. | FILE No.: SBM-21-0907



1599 Adelaide St. N, Unit 203, London,
Ontario, N5X 4E8
Tel: (519) 914-1134 Fax: (519) 471-0034

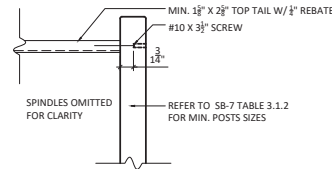


DESIGN: BW	CAD FILE: SBMG-21-0055	CLIENT: KARIM DESIGN & BUILD
CHECKED: BBW	PLOT DATE: 2021/08/17	

GENERAL CONSTRUCTION NOTES

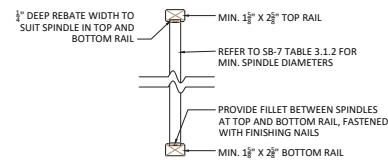
- ALL STEEL LINTELS SUPPORTING BRICK TO HAVE 6" MIN. BEARING AT EACH END.
- MASONRY VENEER THAT IS 3 1/2" THICK SHALL NOT PROJECT MORE THAN 1" FROM SUPPORTING BASE & 1/2" FROM SUPPORTING BASE WHERE THE MASONRY VENEER IS LESS THAN 3 1/2" THICK.
- MASONRY FLASHINGS TO CONFORM TO SUBSECTION 9.20.13.
- CONCRETE STAIRS TO BE CANTILEVERED SHALL BE CONSTRUCTED & INSTALLED IN CONFORMANCE WITH SUBSECTION 9.8.10.
- CONCRETE STAIRS WITH MORE THAN 2 TREADS & 2 RISERS REQUIRES TO BE SUPPORTED ON A FOUNDATION WALL OR CANTILEVERED FROM THE MAIN FOUNDATION WALL.
- DOORS & WINDOWS TO COMPLY TO FORCED ENTRY REQUIREMENTS 9.7.5.2 & 9.7.5.3.
- PROVIDE WEEP HOLES IN BRICK IN ACCORDANCE WITH 9.20.13.8.
- MORTAR JOINT THICKNESS IN MASONRY VENEER SHALL BE 3/8".
- STEEL ANGLE LINTELS SHALL PRIMED AND PAINTED.
- PROVIDE MIN. 3 1/2" OF END BEARING FOR ALL BEAMS.
- CAULK PERIMETER OF ALL DOORS, WINDOWS, EXHAUSTS, PIPES, ETC., PENETRATING EXTERIOR WALLS TO WALL.
- PROVIDE WEEP HOLES AT BOTTOM OF MASONRY WALLS AND AT LINTELS SPACED NOT MORE THAN 2'-7" APART.
- ALL CHIMNEYS TO EXTEND 2'-11" ABOVE THE HIGHEST POINT AT WHICH THE CHIMNEY COMES IN CONTACT WITH THE ROOF & NOT LESS THAN 24" ABOVE THE HIGHEST ROOF SURFACE OR STRUCTURE WITHIN 9'-10" OF THE CHIMNEY.
- CHIMNEY CAP TO HAVE 1" (MIN.) OVERHANG FROM ALL SIDES.
- ROOF FLASHINGS TO CONFORM TO SUBSECTION 9.26.4.
- PROVIDE ELECTRICAL & LIGHTING FACILITIES AS PER SECTION 9.34.
- CHIMNEY SADDLES ARE REQUIRED IF THE UPPER SIDE OF THE CHIMNEY ON A SLOPING ROOF IS MORE THAN 2'-6" WIDE.
- ROOF & ATTIC VENTILATION MUST CONFORM TO SUBSECTIONS 9.19.1.1 TO 9.19.1.4.
- ALL CHIMNEYS & FIREPLACES TO CONFORM TO SECTION 9.21 & 9.22.
- EXCEPT WHERE A DOOR PROVIDES DIRECT ACCESS TO THE EXTERIOR, FLOOR LEVELS CONTAINING BEDROOMS MUST HAVE ONE WINDOW OPENING WITH AN UNOBSTRUCTED AREA OF 3.8 sq.ft. (MIN.) WITH NO DIMENSION LESS THAN 15" & 3'-3" MAX. FROM FLOOR LEVEL.
- STAIRS, UNIFORM RISE/RUN
RISE
=5" MIN.
=7 1/2" MAX.
RUN
=9 1/2" MIN.
=14" MAX.
TREAD
=9 1/2" MIN.
NOSING
=1" MAX.
HEADROOM
=6'-5" MIN.
WIDTH
=2'-10 1/2" MIN.
HANDRAILS
PROJECTION OF HANDRAILS=MIN. 2"
- GUARDS TO BE:
INTERIOR
-35 1/2" HEIGHT MIN.
-4" OPENING MAX.
-NON-CLIMBABLE
- EXTERIOR GUARDS TO BE 35 1/2" MIN. WHERE THE WALKING SURFACE OF THE PORCHES, DECKS, LANDINGS & BALCONIES ARE LESS THAN 5'-11" ABOVE FINISHED GRADE 9.8.8.3.
- STAIRS TO BASEMENTS TO BE ENCLOSED BY WALLS OR GUARDS.
- MINIMUM HEADROOM BELOW BEAMS AND DUCTS TO BE 6'-5" AND 6'-11" IN ALL OTHER AREAS.
- ALL GUARDS TO CONFORM TO SB-7 OF THE O.B.C.
- PROVIDE 22" X 28" ATTIC ACCESS INTO ATTIC SPACES.
- ALL STUD WALLS BETWEEN GARAGE & LIVING AREAS TO BE 2 X 6 STUDS @ 16" O.C. C/W R22 INSULATION & 1/2" GYPSUM BOARD.
- ALL AIR BARRIERS TO BE CONTINUOUS & SEALED WITH MANUFACTURER RECOMMENDED SEALANT AT ALL JOINTS, PENETRATIONS & INTERFACE WITH ADJACENT MATERIALS.
- SEAL TOP OF FOUNDATION WALL TO AIR BARRIER, FOUNDATION WALL TO CONCRETE SLAB & ALL PENETRATIONS THROUGH CONCRETE SURFACES.
- R-12 INSULATION BEHIND RISERS ON EXTERIOR WALLS & UNDER DUCTS IN CEILINGS ABOVE UNHEATED SPACE.
- COORDINATE ALL EXTERIOR DOOR & WINDOW ROUGH OPENINGS WITH DOOR & WINDOW SUPPLIER.
- ALL SMOKE ALARMS ARE TO HAVE A VISUAL SIGNALING COMPONENT CONFORMING TO THE REQUIREMENTS OF 18.5.3 OF NFPA 72.
- PROVIDE A 3-WAY SWITCH AT THE TOP & BOTTOM OF STAIRS.
- UNDERCUT ALL DOORS 3/4" TO ROOMS WITHOUT RETURN AIR.
- WHEN BASEMENT FINISHED, PROVIDE MIN. 1 FORCED AIR SUPPLY OUTLET PER ROOM. EXTEND ALL SUPPLY AIR DUCTWORK TO FLOOR LEVEL TO PROVIDE LOW WALL AIR SUPPLY AND TO BATH EXTERIOR WALLS.

TYPICAL GUARD DETAILS



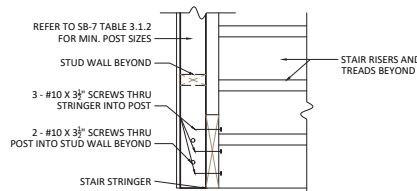
TYPICAL INTERIOR POST TO RAIL CONNECTION

(AS PER OBC 2012 - SB-7 - DETAIL IA-1)
SCALE: 1" = 1'-0"



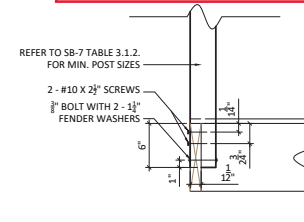
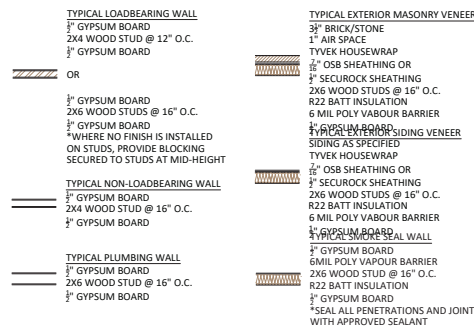
TYPICAL INTERIOR SPINDLE SET INTO RAILS

(AS PER OBC 2012 - SB-7 - DETAIL IC-1)
SCALE: 1" = 1'-0"



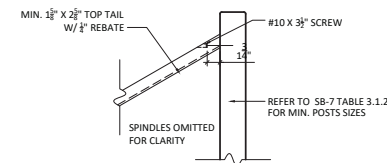
TYPICAL INTERIOR POST SCREWED TO STRINGER AND STUD WALL

(AS PER OBC 2012 - SB-7 - DETAIL IG-3)
SCALE: 1" = 1'-0"



TYPICAL INTERIOR POST CONNECTION TO RIM JOIST

(AS PER OBC 2012 - SB-7 - DETAIL IB-1)
SCALE: 1" = 1'-0"



TYPICAL INTERIOR RAIL TO POST CONNECTION

(AS PER OBC 2012 - SB-7 - DETAIL IF-1)
SCALE: 1" = 1'-0"



LEGEND

ALUM	ALUMINUM	LTL	LINTEL
AFF	ABOVE FINISHED FLOOR	ME	MATCH EXISTING
B.P.	BEAM POCKET	MIN	MINIMUM
C.O.	SANITARY CLEAN-OUT	MANU	MANUFACTURER
C.D.	CONDENSATE DRAIN	MAX	MAXIMUM
CONC	CONCRETE	N.T.S.	NOT TO SCALE
CONT	CONTINUOUS	O.A.	OPEN AIR
COOR	COORDINATE	O.C.	ON-CENTER
D/B	DEAD-BOLT	P.T.	PRESSURE TREATED
DIA	DIAMETER	PREFIN	PREFINISHED
D.J.	DOUBLE JOIST	RAD.	RADIUS
DN	DOWN	S.L.	STEEL LINTEL
DW	DISHWASHER	SF	STEP FOOTING
DWG	DRAWING	SIM	SIMILAR
DWR	DRYWALL RETURN	SPP	SPRUCE PINE FUR
E.P.	ELECTRICAL PANEL	ST	STOVE
EQ	EQUAL	T.D.	TROUGH DRAIN
F/B	FLUSHBOLT	T/O	TOP OF
F.D.	FLOOR DRAIN	T.J.	TRIPLE JOIST
FO	FINISHED OPENING	TYP	TYPICAL
FR	FRIDGE	U.N.O.	UNLESS NOTED OTHERWISE
F.S.	FLOOR SUPPLIER	U/S	UNDERSIDE
FTG	FOOTING	W.M.	WATER MAIN
FDN	FOUNDATION	HRV	EXHAUST FAN TO HRV
HMD	HOLLOW METAL DOOR	EXT	EXHAUST FAN TO EXTERIOR
HMDI	HOLLOW METAL DOOR INSULATED	SMOKE / CARBON	DIOXIDE DETECTOR
HMF	HOLLOW METAL FRAME		
HMF1	HOLLOW METAL FRAME INSULATED		
HRV	HEAT RECOVERY VENTILATOR		
HWH	HOT WATER HEATER		

SB-12 - ENERGY EFFICIENCY SUMMARY

ELEVATION	WALL AREA	GLAZING AREA	GLAZING %	REMARKS
N.E.	827 sq.ft.	132 sq.ft.	-	
S.E.	1052 sq.ft.	72 sq.ft.	-	
S.W.	860 sq.ft.	170 sq.ft.	-	
N.W.	1054 sq.ft.	58 sq.ft.	-	
TOTAL	3793 sq.ft. (352 sq.m.)	432 sq.ft. (40 sq.m.)	11%	

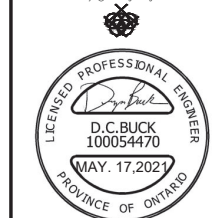
General Notes

DO NOT SCALE DRAWINGS. WORK TO DIMENSIONS SHOWN. CONTRACTOR AND ALL SUB-TRADES MUST CHECK THEIR DIMENSIONS AND DETAILS PRIOR TO PROCEEDING WITH ANY WORK OR FABRICATION.

ALL DIMENSIONS AND SIZE DESIGNATIONS GIVEN ARE SUBJECT TO VERIFICATION ON JOB SITE AND ADJUSTMENT TO FIT JOB CONDITIONS.

THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH THE TRUSS DESIGN AND FLOOR CONSTRUCTION DRAWINGS WHERE APPLICABLE.

01	ISSUED FOR PERMIT	06/17/21
No.	Revision/Issue	Date



D.C. BUCK PROJECT #: 482021



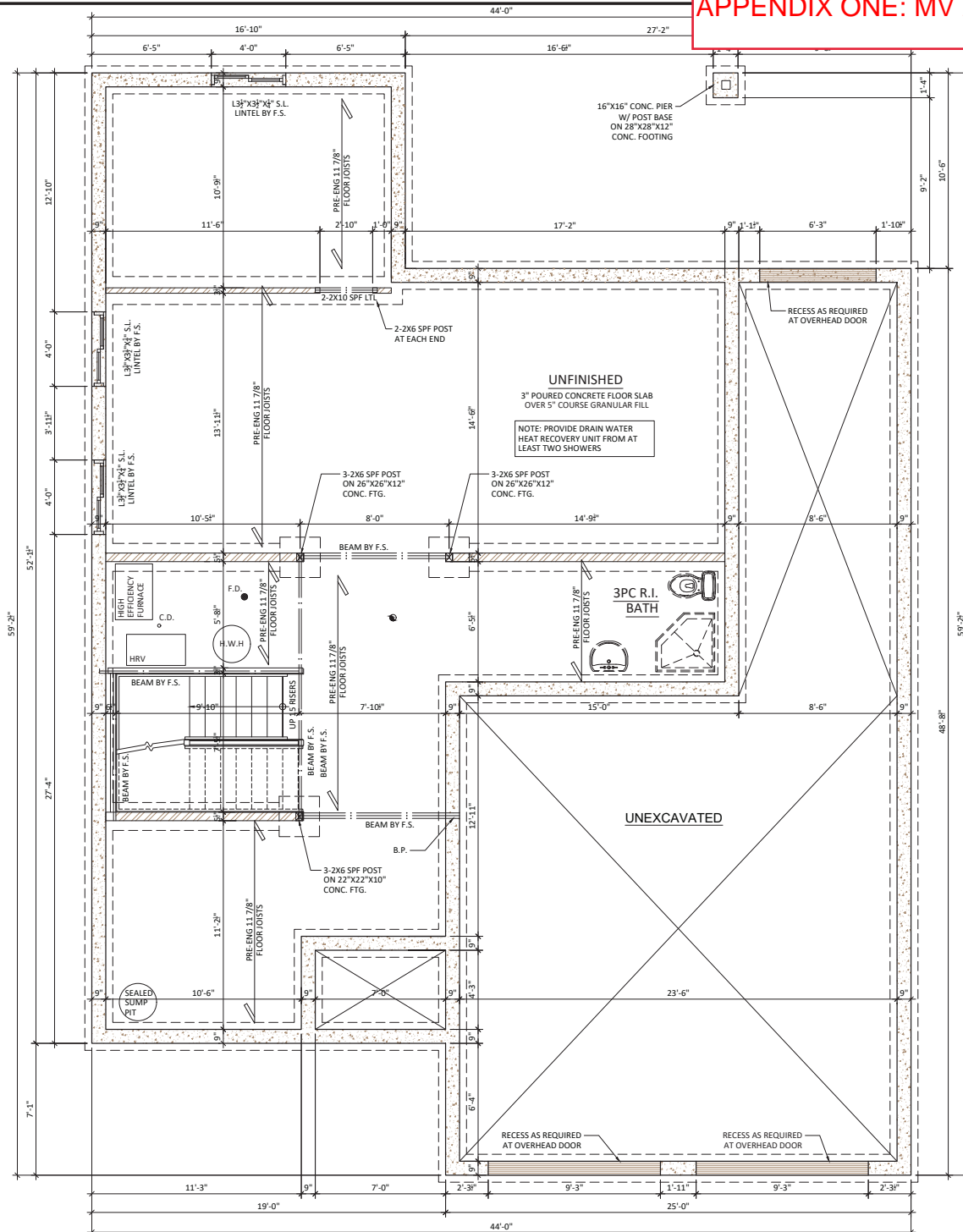
PROJECT NAME AND ADDRESS
Lot 62 Royal Cres
Talbotville Meadows
Talbotville, ON

DRAWING TITLE
GENERAL NOTES,
ABBREVIATIONS,
BEAM SCHEDULE,
WALL TYPES &
GUARD DETAILS

Project	21-059	DATE	17-MAY-21
Drawn By	PA	Sheet	A0
Checked By	PA		
Scale	AS NOTED		

FOOTING & FOUNDATION NOTES

1. ALL CONCRETE SHALL CONFORM TO SECTION 9.3.1 OF CURRENT OBC.
2. FOOTINGS SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL.
3. PROVIDE 18" X 6" MIN. FOOTING FOR TWO STOREY MASONRY AND SIDING/STUCCO WALLS UNLESS NOTED OTHERWISE.
4. PROVIDE 20" X 6" MIN. FOOTING FOR ALL TWO STOREY MASONRY WALLS UNLESS NOTED OTHERWISE.
5. PROVIDE 26" X 8 1/2" FOOTING FOR ALL THREE STOREY MASONRY VENER WALLS UNLESS NOTED OTHERWISE.
6. PROVIDE 18" X 6" FOOTINGS FOR ALL INTERIOR WALLS SUPPORTING UP TO TWO FLOORS UNLESS NOTED OTHERWISE.
7. STEPPED FOOTINGS ON FIRM SOIL SHALL NOT EXCEED A VERTICAL RISE OF 23 5/8" AND HORIZONTAL DISTANCE BETWEEN RISE SHALL BE NOT LESS THAN 23 5/8".
8. FOUNDATION WALLS & FOOTING CONCRETE STRENGTH TO BE MIN. 20MPa.
9. EXTERIOR CONCRETE SLABS TO HAVE 5-8% AIR ENTRAINMENT.
10. EXTERIOR FOUNDATION WALLS SHALL EXTEND MIN. 6" ABOVE GRADE.
11. WHERE THE FOUNDATION IS REDUCED IN THICKNESS AT THE TOP FOR THE INSTALLATION OF FLOOR JOISTS, THE REDUCED THICKNESS SHALL BE NO MORE THAN 13 3/4" HIGH AND NOT LESS THAN 3 1/2" THICK.
12. WHERE THE FOUNDATION IS REDUCED IN THICKNESS AT THE TOP FOR THE INSTALLATION OF MASONRY, THE REDUCED THICKNESS SHALL BE NOT LESS THAN 3 1/2" THICK, TIED TO THE MASONRY WITH METAL TIES SPACED 7 7/8" O.C. VERTICALLY, 35" O.C. HORIZONTALLY AND THE SPACE BETWEEN WALL AND MASONRY FILLED WITH MORTAR.
13. AT FOUNDATION WALLS LONGER THAN 82'-0", PROVIDE CONTROL JOINTS AT 49'-3" INTERVALS MAX.
14. REMOVE ALL FORM TIES FLUSH WITH WALL MIN.
15. PROVIDE 1/2" ANCHOR BOLTS @ 7'-10" O.C. MAX. EMBEDDED 4" MIN. INTO FOUNDATION WALLS FOR SILL PLATE ATTACHMENT.
16. PROVIDE 2 COATS OF ASPHALT DAMPPROOFING TO ALL BELOW GRADE FOUNDATION WALLS.



FOUNDATION PLAN

General Notes

DO NOT SCALE DRAWINGS. WORK TO DIMENSIONS SHOWN. CONTRACTOR AND ALL SUB-TRADES MUST CHECK THEIR DIMENSIONS AND DETAILS PRIOR TO PROCEEDING WITH ANY WORK OR FABRICATION.

ALL DIMENSIONS AND SIZE DESIGNATIONS GIVEN ARE SUBJECT TO VERIFICATION ON JOB SITE AND ADJUSTMENT TO FIT JOB CONDITIONS.

THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH THE TRUSS DESIGN AND FLOOR CONSTRUCTION DRAWINGS WHERE APPLICABLE.

01 ISSUED FOR PERMIT 06/17/21

No. Revision/Issue Date

PHIDITY DESIGN
8405 GERRARD AVE. E. UNIT 203 SCARBOROUGH, ONTARIO M1V 4Z4
TEL: (416) 291-8888 FAX: (416) 291-8889

DCBUCK
DESIGN & CONSULTING
79 Ridout Street South
London, Ontario N6C 3K2
Phone: (519) 270-6601
dcbuck@dcconsulting.com

D.C. BUCK
LICENSED PROFESSIONAL ENGINEER
D.C. BUCK
100054470
MAY. 17, 2021
PROVINCE OF ONTARIO

D.C. BUCK PROJECT #: 482021

CLIENT NAME AND ADDRESS
KDB
KARIM • DESIGN • BUILD

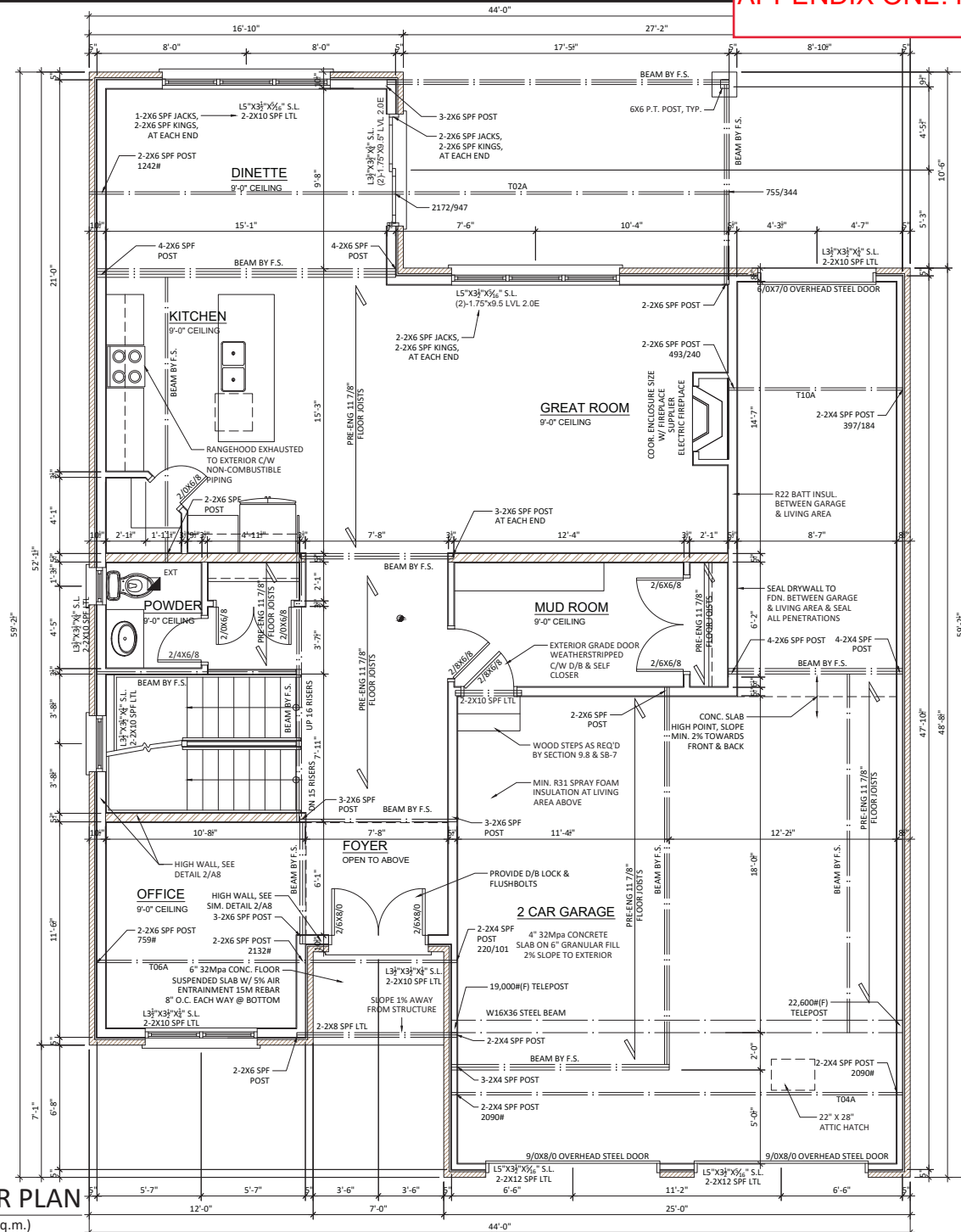
PROJECT NAME AND ADDRESS
Lot 62 Royal Cres
Talbotville Meadows
Talbotville, ON

DRAWING TITLE
FOUNDATION PLAN

Project: 21-059 DATE: 17-MAY-21
Drawn by: PA Sheet:
Checked by: PA
Scale: 1/4" = 1'-0"
A1

FRAMING NOTES

1. NAILS SHALL BE COMMON STEEL WIRE OR COMMON SPIRAL NAILS CONFORMING TO CSA B111.
2. NAILS SHALL BE LONG ENOUGH, SO THAT NOT LESS THAN HALF THEIR REQUIRED LENGTH PENETRATES INTO THE SECOND MEMBER.
3. FASTENER LENGTHS SHALL CONFORM TO TABLES 9.23.3.4 & 9.23.3.5 OF CURRENT OBC.
4. PROVIDE MIN. 6mil POLY UNDER ALL WOOD IN CONTACT WITH CONCRETE.
5. HOLES DRILLED IN CONVENTIONAL LUMBER ROOF RAFTERS, FLOOR JOISTS AND CEILING MEMBERS SHALL BE NOT MORE THAN ONE-QUARTER THE DEPTH OF THE MEMBER AND SHALL BE LOCATED NOT LESS THAN 2" FROM THE EDGES. NOT APPLICABLE FOR PRE-ENGINEERED JOISTS & ROOF TRUSSES.
6. CONVENTIONAL LUMBER ROOF RAFTERS, FLOOR JOISTS AND CEILING MEMBERS ARE PERMITTED TO BE NOTCHED PROVIDED THE NOTCH IS LOCATED ON THE TOP OF THE MEMBER WITHIN HALF THE JOIST DEPTH FROM THE EDGE OF BEARING AND IS NOT DEEPER THAN ONE-THIRD THE JOIST DEPTH. NOT APPLICABLE FOR PRE-ENGINEERED JOISTS & ROOF TRUSSES.
7. WALL STUDS ARE PERMITTED TO BE NOTCHED OR DRILLED PROVIDED NOT LESS THAN TWO-THIRDS OF THE STUD IS UNDAMAGED, UNLESS THE STUDS ARE SUITABLY REINFORCED.
8. ROOF TRUSSES SHALL NOT BE NOTCHED OR DRILLED UNLESS ALLOWED FOR IN THE TRUSS DESIGN.
9. BEAMS AND LINTELS SHALL HAVE NOT LESS THAN 3 1/2" OF BEARING AT END SUPPORTS.
10. EXCEPT FLOOR JOISTS SUPPORTED BY RIBBON BOARDS, JOISTS SHALL HAVE MIN. 1 1/2" LENGTH END BEARING.
11. NON-LOADBEARING WALLS PARALLEL TO JOISTS SHALL BE SUPPORTED BENEATH BY JOISTS OR BLOCKING BETWEEN JOISTS, MIN. 2X4 LUMBER, SPACED NOT MORE THAN 47" APART.
12. WHERE BRIDGING SPECIFIED, PROVIDE 2X2 CROSS BRIDGING LOCATED NOT MORE THAN 6'-11" APART AND FROM EACH SUPPORT.
13. WHERE STRAPPING SPECIFIED, PROVIDE 1X3 NAILED TO UNDERSIDE OF FLOOR JOISTS, LOCATED NOT MORE THAN 6'-11" APART AND FROM EACH SUPPORT.
14. WALL STUDS SHALL BE CONTINUOUS FROM FLOOR TO UPPERMOST CEILING.
15. PROVIDE MIN. OF 2 STUDS AT EACH CORNER AND INTERSECTION ORIENTATED TO ADEQUATELY SUPPORT VERTICAL EDGES OF SHEATHING AND CLADDING MATERIALS.
16. PROVIDE ONE KING STUD AND ONE JACK STUD SECURED TOGETHER AT EACH SIDE OF OPENINGS UNLESS NOTED OTHERWISE.
17. STUD POSTS SHALL BE FASTENED TOGETHER TO FORM POST.
18. PROVIDE MIN. TWO TOP PLATES IN LOAD BEARING WALLS AND JOISTS SHALL BE STAGGERED OVER MIN. ONE STUD SPACING.
19. LINTELS OVER OPENINGS IN NON-LOAD BEARING WALLS SHALL BE FRAMED WITH MIN. TWO OF THE SAME WALL STUDS, FASTENED TOGETHER AND INSTALLED WITH FACE DIMENSION VERTICAL.
20. EACH PLY IN LINTELS OVER OPENINGS SHALL BE FASTENED TOGETHER WITH MIN. (2)-3.25" NAILS SPACED 27" O.C. VERTICALLY, 1" FROM TOP & BOTTOM, 16" O.C. HORIZONTALLY AND 4" FROM EACH END, U.N.O.
21. WHERE CERAMIC FLOORING IS INSTALLED, SUBFLOOR TO BE REINFORCED.
22. PROVIDE BLOCKING FOR FUTURE GRAB BARS WHERE NOTED ON DRAWINGS. BLOCKING ADJACENT WALL CLOSET TO SUIT MIN. 30" GRAB BAR INSTALLED AT 30-50 DEGREES, SLOPING UPWARDS AWAY FROM WATER CLOSET WITH LOW POINT OF GRAB BAR BEING 30"-35" A.F.F. & 2" IN FRONT OF WATER CLOSET. BLOCKING IN WALL BEHIND WATER CLOSET TO SUIT MIN. 24" GRAB BAR 6" ABOVE TANK.
23. AT TUBS/SHOWERS, PROVIDE BLOCKING OPPOSITE THE ENTRANCE TO THE TUB/SHOWER TO SUIT MIN. 36" GRAB BAR MOUNTED 33 1/2" A.F.F.
24. ALL EXTERIOR CLADDING TO CONFORM TO SUBSECTION (9.27)
25. PROVIDE FOAM GASKET AND CAULKING UNDER ALL UPPER FLOOR WALL PLATES
26. FOR ALL HOUSES WITH 2 X 6 EXTERIOR WALL CONSTRUCTION, EXTEND WINDOW AND DOOR JAMBS TO SUIT
27. PROVIDE SOLID BLOCKING ON BOTH SIDES AT THE LOCK HEIGHT BETWEEN JAMBS & FRAME FOR ALL EXTERIOR DOORS.
28. WHERE BUILT-UP WOOD BEAMS SPECIFIED, CONNECT EACH PLY WITH (2)-3" NAILS @ 16" O.C. & 4" FROM ENDS, U.N.O.
29. WHERE A POST IS SPECIFIED, SOLID BLOCKING SHALL BE PROVIDED BELOW POST DOWN THROUGH TO FOOTING



MAIN FLOOR PLAN

AREA: 1304 sq.ft. (121 sq.m.)

General Notes

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01	ISSUED FOR PERMIT	06/17/21
No.	Revision/Issue	Date



PROJECT NAME AND ADDRESS
Lot 62 Royal Cres
Talbotville Meadows
Talbotville, ON

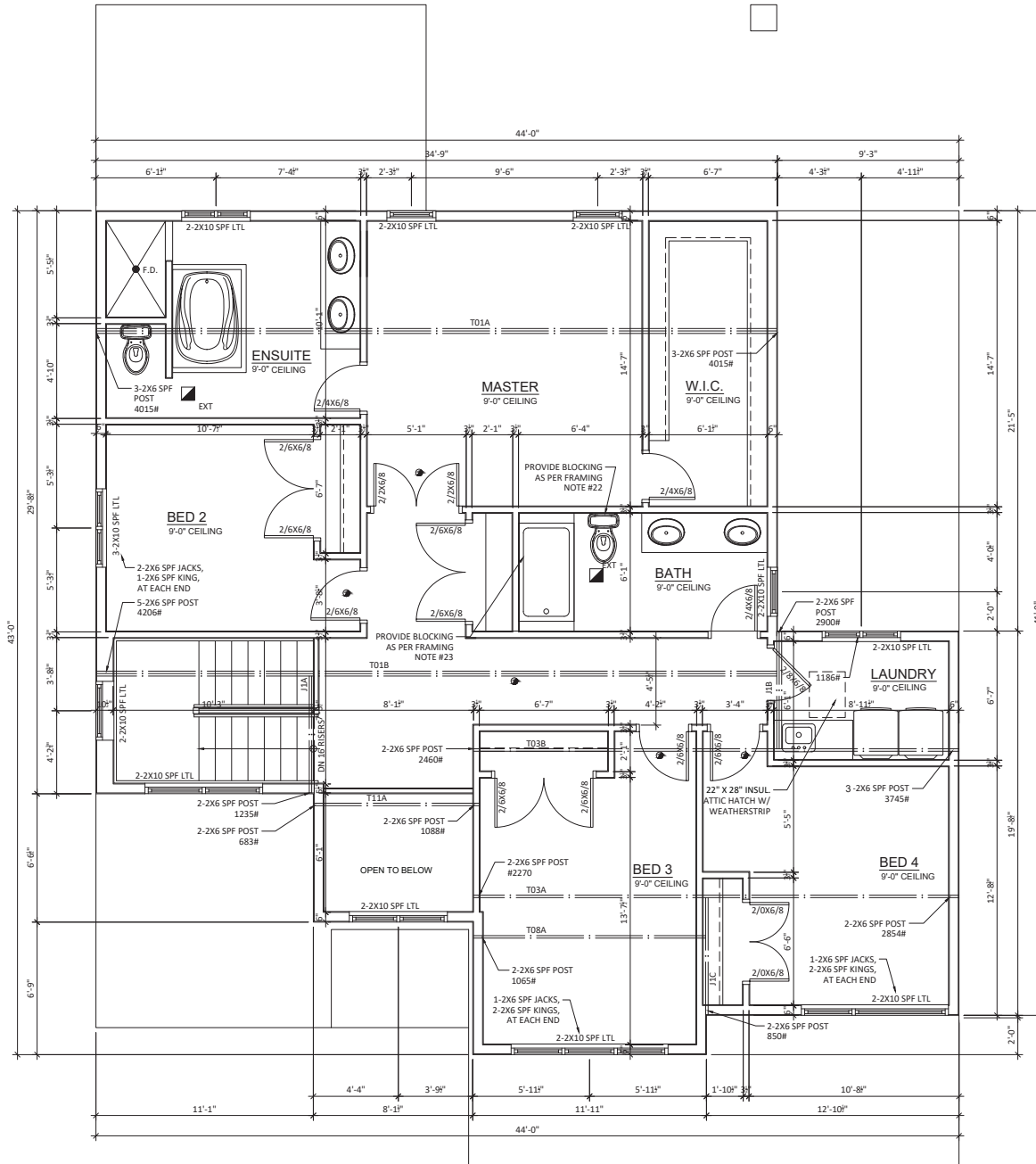
DRAWING TITLE
MAIN FLOOR PLAN

Project	21-059	Date	17-MAY-21
Drawn By	PA	Sheet	
Checked By	PA		
Scale	1/4" = 1'-0"		

A2

FRAMING NOTES

1. NAILS SHALL BE COMMON STEEL WIRE OR COMMON SPIRAL NAILS CONFORMING TO CSA 8111.
2. NAILS SHALL BE LONG ENOUGH, SO THAT NOT LESS THAN HALF THEIR REQUIRED LENGTH PENETRATES INTO THE SECOND MEMBER.
3. FASTENER LENGTHS SHALL CONFORM TO TABLES 9.23.3.4 & 9.23.3.5 OF CURRENT OBC.
4. PROVIDE MIN. 6mil POLY UNDER ALL WOOD IN CONTACT WITH CONCRETE.
5. HOLES DRILLED IN CONVENTIONAL LUMBER ROOF RAFTERS, FLOOR JOISTS AND CEILING MEMBERS SHALL BE NOTCHED PROVIDED THE NOTCH IS LOCATED ON THE TOP OF THE MEMBER WITHIN HALF THE JOIST DEPTH FROM THE EDGE OF BEARING AND IS NOT DEEPER THAN ONE-THIRD THE JOIST DEPTH. NOT APPLICABLE FOR PRE-ENGINEERED JOISTS & ROOF TRUSSES.
6. CONVENTIONAL LUMBER ROOF RAFTERS, FLOOR JOISTS AND CEILING MEMBERS ARE PERMITTED TO BE NOTCHED PROVIDED THE NOTCH IS LOCATED ON THE TOP OF THE MEMBER WITHIN HALF THE JOIST DEPTH FROM THE EDGE OF BEARING AND IS NOT DEEPER THAN ONE-THIRD THE JOIST DEPTH. NOT APPLICABLE FOR PRE-ENGINEERED JOISTS & ROOF TRUSSES.
7. WALL STUDS ARE PERMITTED TO BE NOTCHED OR DRILLED PROVIDED NOT LESS THAN TWO-THIRDS OF THE STUD IS UNDAMAGED, UNLESS THE STUDS ARE SUITABLY REINFORCED.
8. ROOF TRUSSES SHALL NOT BE NOTCHED OR DRILLED UNLESS ALLOWED FOR IN THE TRUSS DESIGN.
9. BEAMS AND LINTELS SHALL HAVE NOT LESS THAN 3 1/2" OF BEARING AT END SUPPORTS.
10. EXCEPT FLOOR JOISTS SUPPORTED BY RIBBON BOARDS, JOISTS SHALL HAVE MIN. 1 1/2" LENGTH END BEARING.
11. NON-LOADBEARING WALLS PARALLEL TO JOISTS SHALL BE SUPPORTED BENEATH BY JOISTS OR BLOCKING BETWEEN JOISTS, MIN. 2X4 LUMBER, SPACED NOT MORE THAN 47" APART.
12. WHERE BRIDGING SPECIFIED, PROVIDE 2X2 CROSS BRIDGING LOCATED NOT MORE THAN 6'-11" APART FROM EACH SUPPORT.
13. WHERE STRAPPING SPECIFIED, PROVIDE 1X3 NAILED TO UNDERSIDE OF FLOOR JOISTS, LOCATED NOT MORE THAN 6'-11" APART AND FROM EACH SUPPORT.
14. WALL STUDS SHALL BE CONTINUOUS FROM FLOOR TO UPPERMOST CEILING.
15. PROVIDE MIN. OF 2 STUDS AT EACH CORNER AND INTERSECTION ORIENTATED TO ADEQUATELY SUPPORT VERTICAL EDGES OF SHEATHING AND CLADDING MATERIALS.
16. PROVIDE ONE KING STUD AND ONE JACK STUD SECURED TOGETHER AT EACH SIDE OF OPENINGS UNLESS NOTED OTHERWISE.
17. STUD POSTS SHALL BE FASTENED TOGETHER TO FORM POST.
18. PROVIDE MIN. TWO TOP PLATES IN LOAD BEARING WALLS AND JOINTS SHALL BE STAGGERED OVER MIN. ONE STUD SPACINGS.
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SECOND FLOOR PLAN

AREA: 1457 sq.ft. (135 sq.m.)

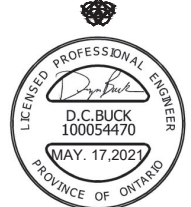
General Notes

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No.	Revision/Issue	Date
01	ISSUED FOR PERMIT	06/17/21



D.C. BUCK PROJECT #: 482021

CLIENT NAME AND ADDRESS



PROJECT NAME AND ADDRESS

Lot 62 Royal Cres
Talbotville Meadows
Talbotville, ON

DRAWING TITLE

SECOND FLOOR
PLAN

Project	21-059	DATE	17-MAY-21
Drawn By	PA	Sheet	
Checked By	PA		
Scale	1/4" = 1'-0"		

A3

PLA 2021-32
APPENDIX ONE: MV 2021-09 DRAWINGS



NORTHEAST ELEVATION

General Notes

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01	ISSUED FOR PERMIT	06/17/21



DCBUCK
DESIGN-BUILD

79 Ridout Street South
London, Ontario (N6C 3K2)
Phone: (226) 270-9001
design@dcbuild.ca



D.C. BUCK PROJECT #: 482021

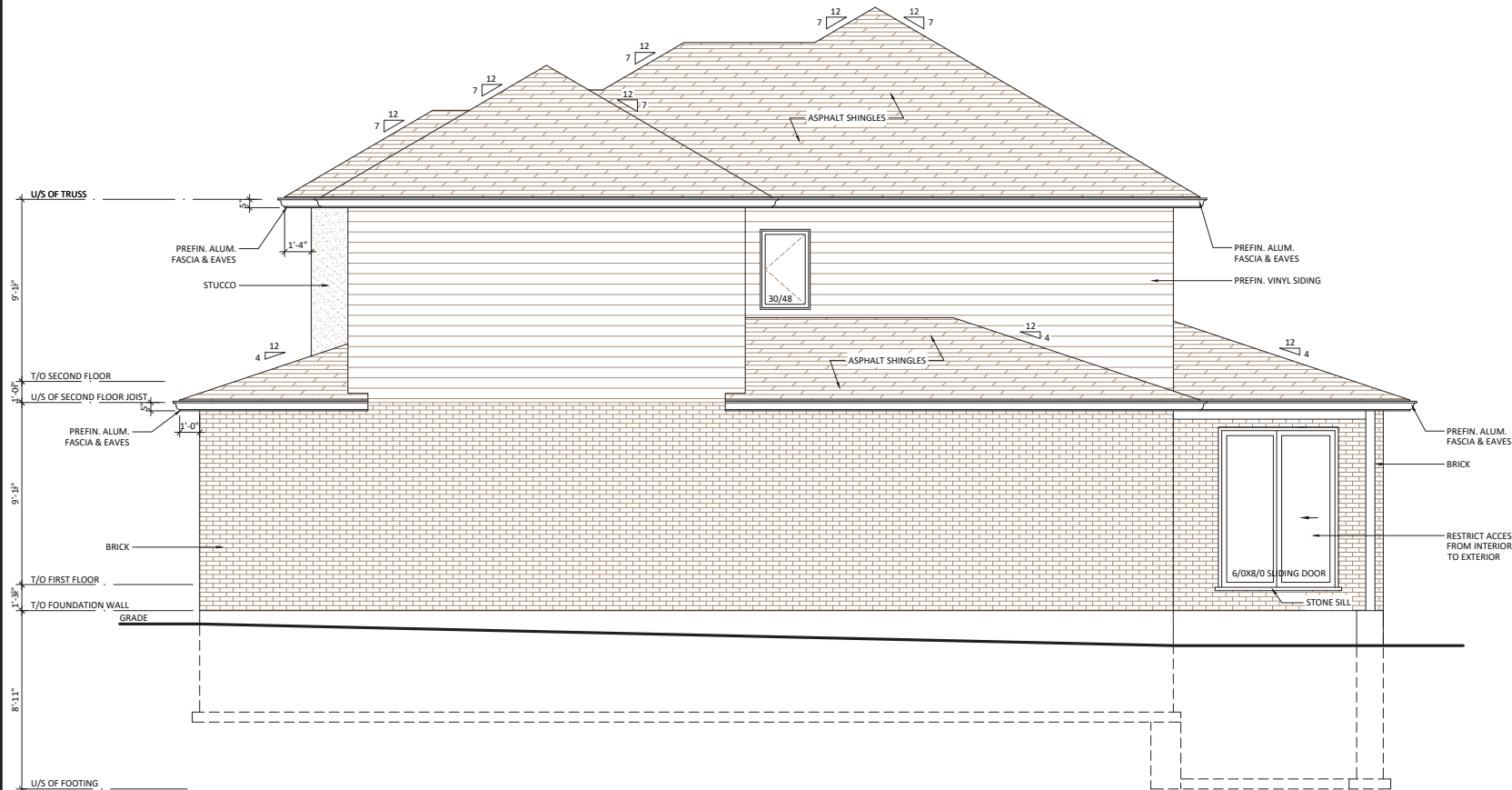


PROJECT NAME AND ADDRESS
Lot 62 Royal Cres
Talbotville Meadows
Talbotville, ON

DRAWING TITLE
NORTHEAST
ELEVATION

Project 21-059	DATE 17-MAY-21
DRAWN BY PA	Sheet
CHECKED BY PA	A4
Scale 1/4" = 1'-0"	

PLA 2021-32
APPENDIX ONE: MV 2021-09 DRAWINGS



NORTHWEST ELEVATION

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D.C. BUCK PROJECT #: 482021

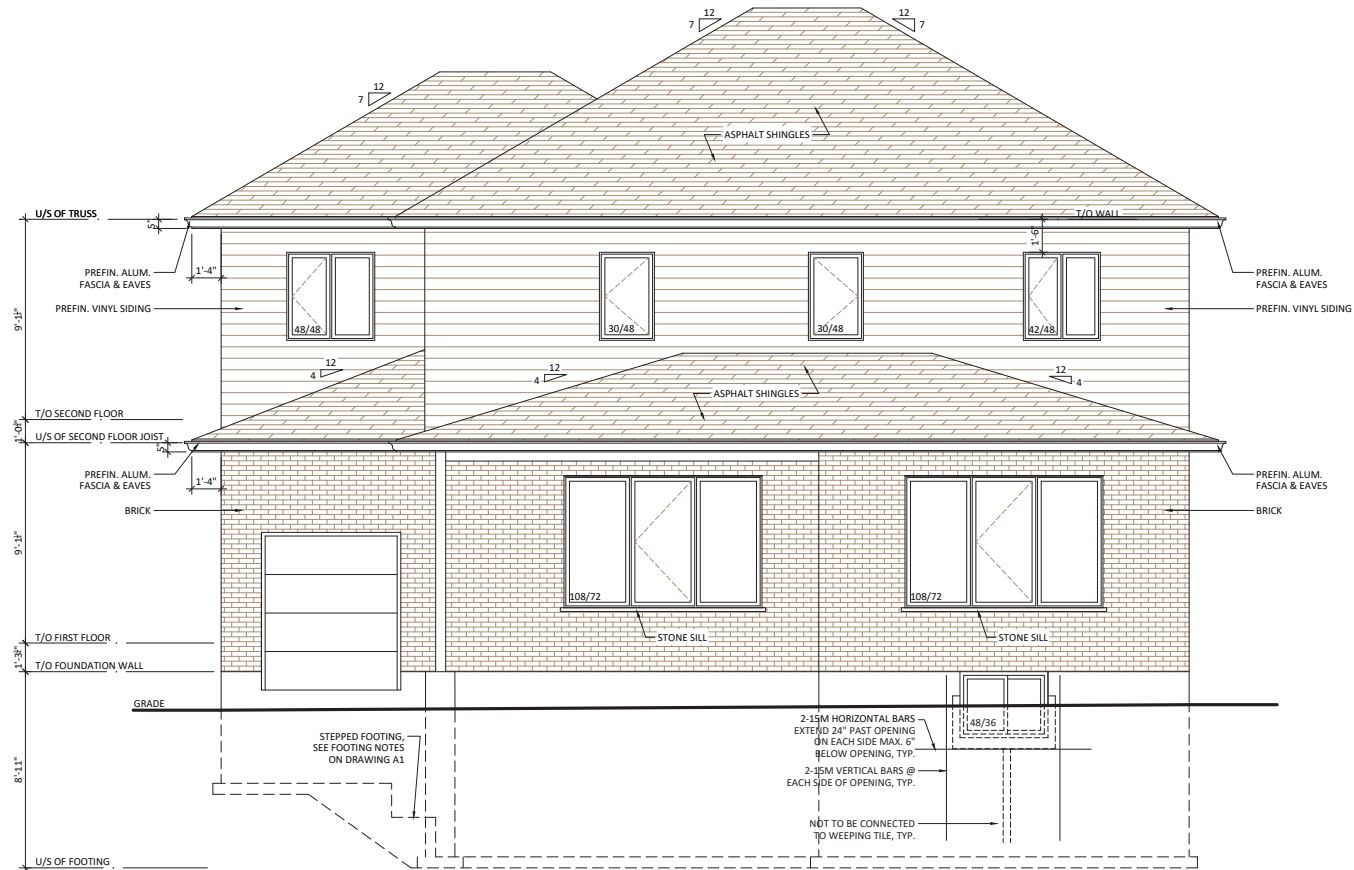


PROJECT NAME AND ADDRESS
Lot 62 Royal Cres
Talbotville Meadows
Talbotville, ON

DRAWING TITLE
NORTHWEST ELEVATION

Project 21-059	DATE 17-MAY-21
DRAWN BY PA	Sheet
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Scale 1/4" = 1'-0"	

PLA 2021-32
APPENDIX ONE: MV 2021-09 DRAWINGS



SOUTHWEST ELEVATION

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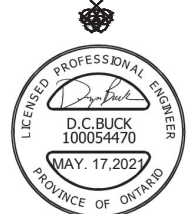
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No.	Revision/Issue	Date

PHASE 1 DESIGN
8410 GERRARD LANE LONDON, ONTARIO N6P 2C3
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79 Ridout Street South
London, Ontario (N6C 3K2)
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dcbuck@dcbuildingsystems.com



D.C. BUCK PROJECT #: 482021

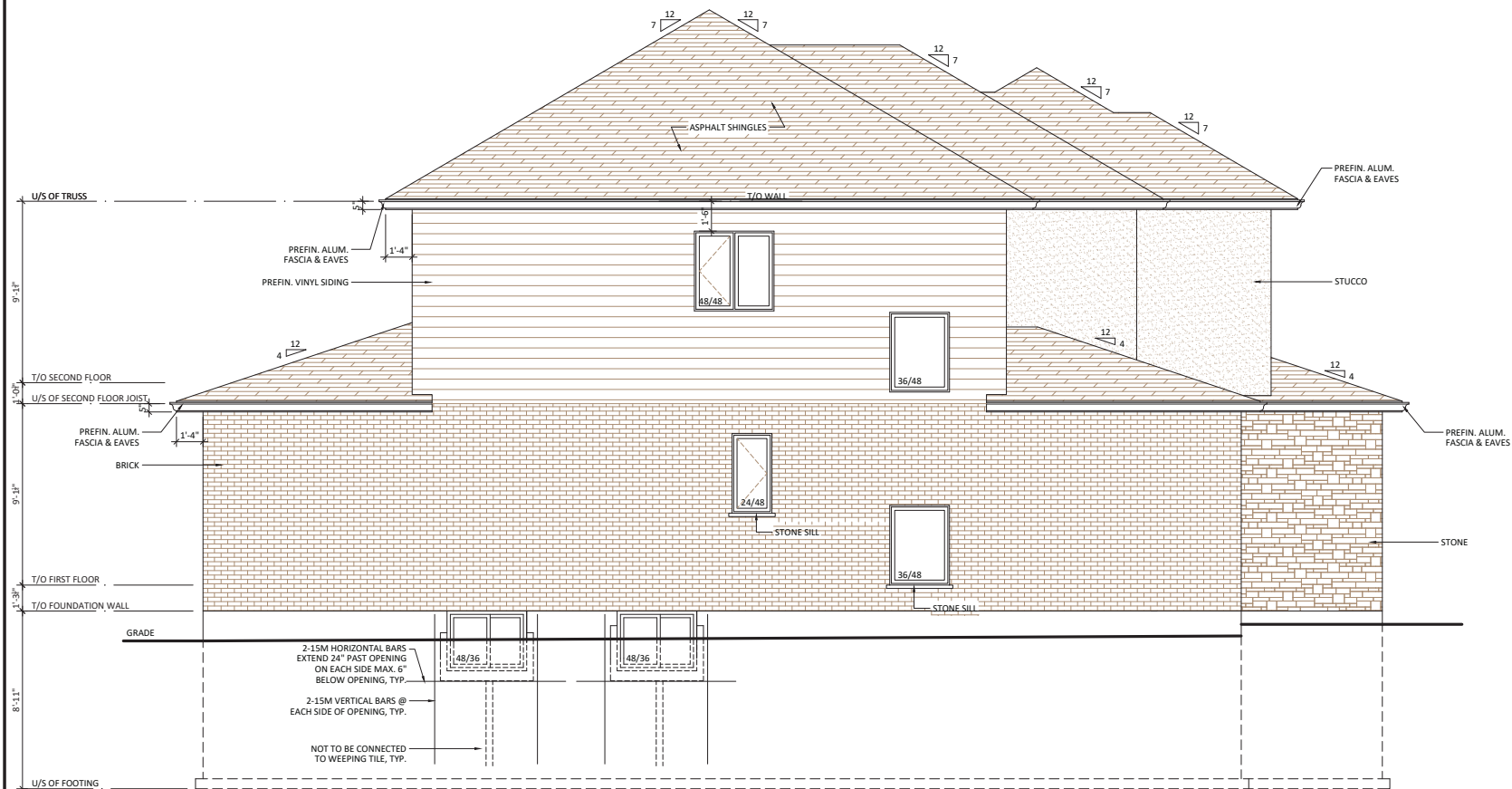
CLIENT NAME AND ADDRESS
KDB
KARIM • DESIGN • & • BUILD

PROJECT NAME AND ADDRESS
Lot 62 Royal Cres
Talbotville Meadows
Talbotville, ON

DRAWING TITLE
**SOUTHWEST
ELEVATION**

Project 21-059	DATE 17-MAY-21
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Scale 1/4" = 1'-0"	

APPENDIX ONE: MV 2021-09 DRAWINGS



SOUTHEAST ELEVATION

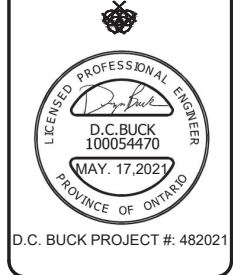
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Talbotville, ON

DRAWING TITLE

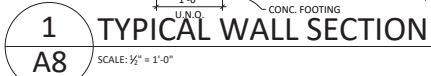
DRAWING TITLE

SOUTHEAST
ELEVATION

Project 21-059	DATE 17-MAY-21
DRAWN BY PA	Sheet A7
CHECKED BY PA	
Scale 1/4" = 1'-0"	

A7

PLA 2021-32
APPENDIX ONE: MV 2021-09 DRAWINGS



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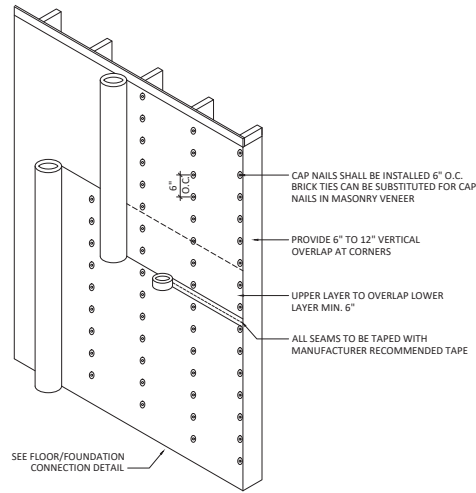


KARIM • DESIGN • & • BUILD

Lot 62 Royal Cres
Talbotville Meadows
Talbotville, ON

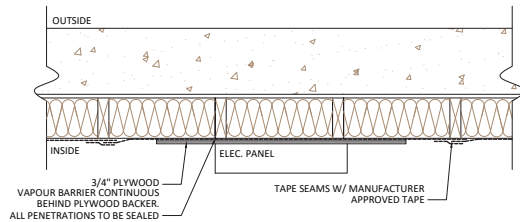
WALL SECTION & TYPICAL DETAILS

Project 21-059	DATE 17-MAY-21
DRAWN BY PA	Sheet A8
CHECKED BY PA	
Scale AS NOTED	



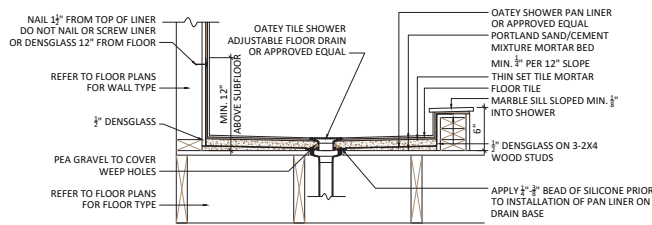
AIR BARRIER DETAIL

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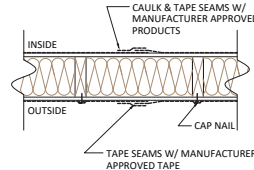
AIR BARRIER @ ELEC. PANEL

SCALE: 1" = 1'-0"



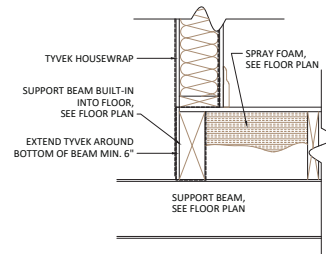
SHOWER PAN DETAIL

SCALE: 1" = 1'-0"



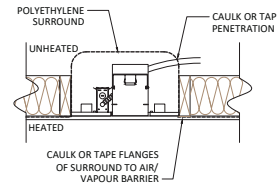
TYPICAL JOINT IN AIR BARRIER

SCALE: 1" = 1'-0"



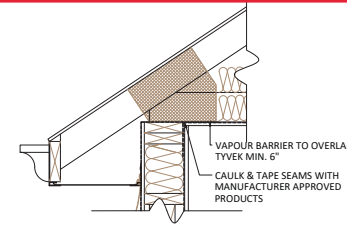
TYPICAL AIR BARRIER @ BEAM

SCALE: 1" = 1'-0"



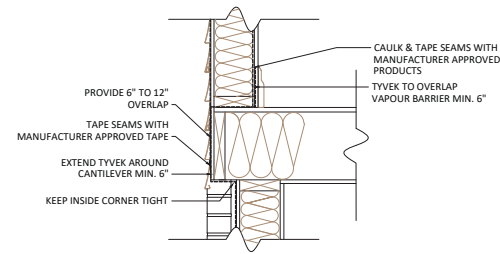
TYPICAL AIR BARRIER @ PENETRATIONS

SCALE: 1" = 1'-0"



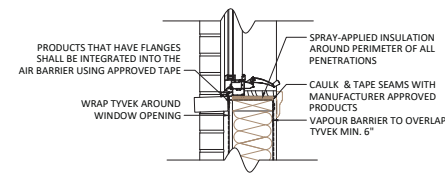
TYPICAL AIR BARRIER @ CEILING

SCALE: 1" = 1'-0"



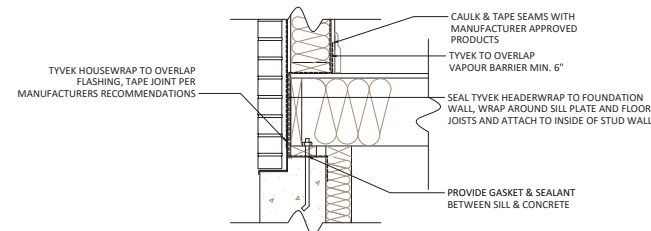
TYPICAL AIR BARRIER @ CANTILEVER FLOOR

SCALE: 1" = 1'-0"



TYPICAL AIR BARRIER @ WINDOWS/DOORS

SCALE: 1" = 1'-0"



TYPICAL AIR BARRIER @ FLOOR/FOUNDATION CONNECTION

SCALE: 1" = 1'-0"

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PHOTODYNE DESIGN
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Phone: (226) 270-9001
dcbuck@photonengineering.com

LICENCED PROFESSIONAL ENGINEER
D.C. BUCK
100054470
MAY. 17, 2021
PROVINCE OF ONTARIO

D.C. BUCK PROJECT #: 482021

CLIENT NAME AND ADDRESS

KDB
KARIM • DESIGN • B • BUILD

PROJECT NAME AND ADDRESS

Lot 62 Royal Cres
Talbotville Meadows
Talbotville, ON

DRAWING TITLE

AIR/VAPOUR BARRIER DETAILS & SHOWER PAN DETAIL

Project	21-059	DATE	17-MAY-21
DRAWN BY	PA	Sheet	A9
CHECKED BY	PA		
Scale	AS NOTED		



TOWNSHIP OF SOUTHWOLD

Report to Committee of Adjustment

MEETING DATE: September 27, 2021

PREPARED BY: Bryan Pearce, HBA, CPT, MCIP, RPP, Planner

REPORT NO: PLA 2021-33

SUBJECT MATTER: Minor Variance Application **MV 2021-10 – Recommendation Report**

Recommendation(s):

THAT Committee of Adjustment of the Township of Southwold receive Report PLA 2021-33 regarding Minor Variance Application ZBA 2021-10 – Recommendation Report;

AND THAT Committee of Adjustment of the Township of Southwold approve the proposed Minor Variance Application MV 2021-10, to obtain relief from Section 8.2(e) Regulations of the Residential 1 (R1) Zone to permit the construction of a 417 square metre (4,489 square foot) gross floor area, one storey single detached dwelling with a reduced exterior side yard setback from the required 6.0 metres (19.7 feet) to the proposed 4 metres (13.1 feet), subject to the following conditions:

1. That the proposed development is substantially in accordance with the Minor Variance MV2021-10 drawings, as appended to Report PLA 2021-33.

Purpose:

The proposal is to seek relief from Section 8.2(e) Regulations of the Residential 1 (R1) Zone to permit the construction of a 417 square metre (4,489 square foot) gross floor area, one storey single detached dwelling with a reduced exterior side yard setback from the required 6.0 metres (19.7 feet) to the proposed 4 metres (13.1 feet)

Background:

Below is a background information, in a summary chart:

Application	MV 2021-10
Owner/Applicant	Farhi Holdings Corporation
Legal Description	Lot 150, Plan 11M-249

Civic Address	127 Optimist Drive
Entrance Access	Optimist Drive
Water Supply	Township water supply
Sewage Supply	Township sewer system
Use of Property	Existing: residential Proposed: residential
Buildings	Existing: None Proposed: Proposed dwelling
Existing Land Area	1,302.27 sqm (14,017.52 sqft)
Official Plan Land Use Designation	Residential
Zoning Category	Residential 1 (R1) (Schedule A, Map 12)

Figure One below, depicts the existing parcel of the Farhi Holdings Corporation Lands.

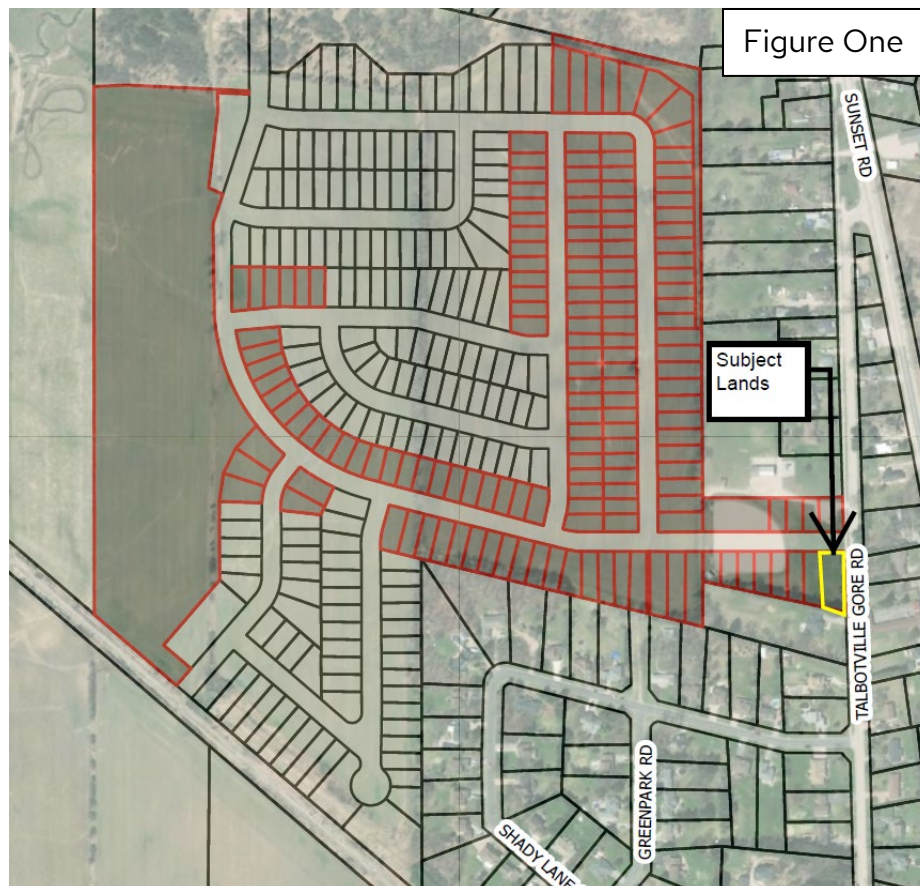
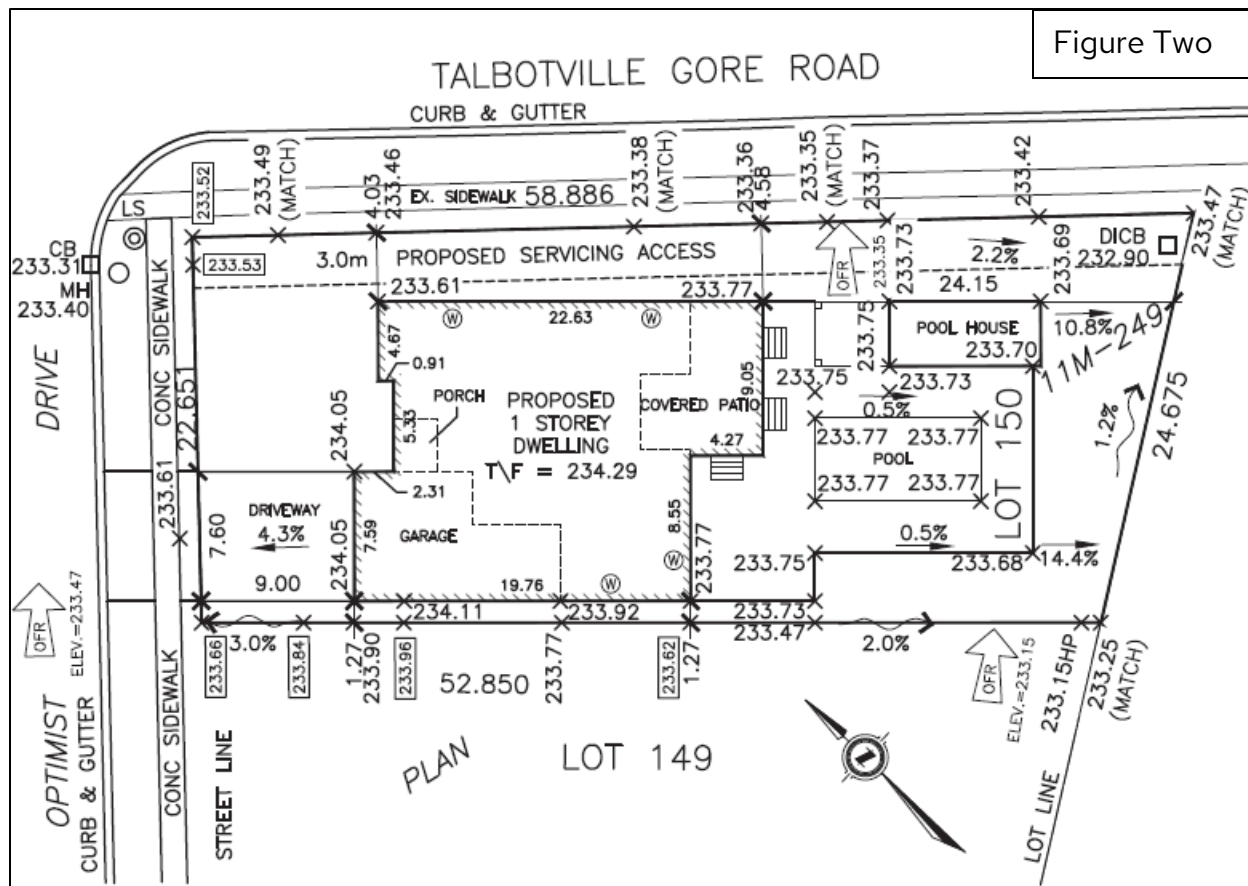


Figure Two below is an excerpt of the site plan drawing submitted:



County of Elgin Official Plan

The subject lands are designated Tier 2 Settlement Area as shown on Schedule 'A' Land Use in the County of Elgin Official Plan (CEOP). In the Tier 2 Settlement Area designation, residential use such as a single detached dwelling use is permitted.

Therefore, this proposed Minor Variance conforms to the CEOP.

Four Tests Of The Minor Variance:

Section 45(1) of the *Planning Act* gives the authority of granting minor relief from the provisions of the Zoning By-law to the Committee of Adjustment. Such relief can only be granted if the Minor Variance passes four tests. If the Committee is not satisfied on all four tests, then the Minor Variance cannot be approved.

1. *Does the variance maintain the intent and purpose of the Township of Southwold Official Plan?*

Yes. The subject lands are designated Residential on Schedule 'A-1' Talbotville Settlement Area of the Township of Southwold Official Plan. A single detached dwelling is permitted in the 'Residential' designation. The proposed reduced minimum exterior side yard does not contravene the Official Plan policies.

2. *Does the variance maintain the intent and purpose of the Township of Southwold Zoning By-law?*

Yes. The subject lands are zoned Residential 1 (R1) Zone in the Township of Southwold Zoning By-law 2011-14, Schedule 'A', Map 12. A single detached dwelling is a permitted use in the Residential 1 (R1) Zone. With the exception of the proposed reduced minimum side yard, the application complies with all remaining zoning provisions. The proposed dwelling would impact the exterior side yard setback for the whole side face of the dwelling, but still maintains adequate side yard for site visibility on the corner lots of Optimist Drive and Talbotville Gore Road, as per Section 3.44 of the Zoning By-law, being a 6 metre by 6 metre triangle for a Township Road intersection.

3. *Is the variance requested desirable for the appropriate and orderly development and use of the lands and buildings?*

Yes. The variance will enable the owner to construct a single detached dwelling with a reduced minimum exterior side yard. Due to the proposed size of the dwelling, it is unable to meet the exterior side yard requirement. At the time of the issuance of the building

permit, the owner will need to demonstrate that the lot grading and lot drainage for the lands will not be compromised as a result of the reduced exterior side yard and comply with the subdivision agreement. The variance will not impede the function of the exterior side yard and still provides for special separation from the street.

4. *Is the variance minor in nature?*

Yes. The meaning of 'minor' is not based on a specific number, where a difference of a number of feet determines whether or not the development is acceptable. It is more appropriate to base this test on the degree of potential impact on neighbouring property owners; the environment; and the municipal, County, or provincial functions.

The impact from the proposed variance is negligible with respect to the environment, Township functions and surrounding property owners.

Circulation Of The Application:

The application was circulated to the applicable Township Departments, Commenting Agencies, neighboring property owners within 60 metres of the subject lands, and to those that expressed interest in the application through the public hearing on September 16, 2021, 11 days prior to the public hearing (minimum 10 days required).

Additional information related to the application is available on the website:
<https://www.southwold.ca/en/business-and-development/current-planning-applications.aspx#MV-2021-10-127-Optimist-Drive>

Township Department Comments

The proposed minor variance application was circulated to Township staff for comment.

The Public Works Department noted the following:

- That the reduced side yard setback could reduce sight lines at the intersection of Talbotville Gore Road and Optimist Drive not by just the footprint of the house but any future landscaping and plantings that are bound to be associated.

Planning Staff notes that the zoning by-law requires a 6m by 6m sight visibility triangle, which is achieved with the proposed dwelling. The Applicant can make note on the landscaping and planting requirements through the general provisions of the Zoning By-law.

The building department noted that they had "no concerns with the 4m setback for the dwelling and future pool shed." The Deputy CBO also noted that the applicant "will need to ensure that the total lot coverage of 40% is not exceeded with the dwelling, garage, covered front porch, covered rear patio AND the pool shed all combined." Communication of this concern is communicated with the applicant, by way of sharing this report.

No additional comments were received.

Agency Comments

Kettle Creek Conservation Authority - No concerns.

Ministry of Transportation – No concerns.

No further comments were received from applicable commenting agencies at time of writing of this report.

Public Comments

At the time of submission of this report, no written comments from the public have been received related to the Minor Variance.

Financial Implications:

None. Application fees were collected in accordance with the Township's Tariff of Fees By-law, as amended time to time.

Strategic Plan Goals:

The above recommendation helps the Township meet the Strategic Plan Goal of:

- ☒ Promoting residential, agricultural, commercial, and industrial development by ensuring policies and services are in place to support growth in The Township of Southwold.
- ☒ Promoting public engagement, transparent government, and strong communications with all members of the community across various mediums for the strengthening of civic participation.

SUMMARY/CONCLUSION:

The application has been assessed for appropriateness with regard to existing policy and the impact of the proposal on the surrounding land uses. The application maintains the intent and purpose of the Official Plan and Zoning By-law, desirable for the appropriate and orderly development and use of the lands and buildings and is minor in nature; and therefore the minor variance application satisfies the four tests pursuant to Section 45(1) of the *Planning Act*, and constitutes good land use planning.

Planning Staff recommends that the request for Minor Variance be conditionally approved, subject to no concerns being raised through any oral and written submissions being received since the writing of this report and at the public hearing.

Once a Committee of Adjustment decision is made, Notice will be sent to those who have requested a copy and/or attended the public hearing.

There will be a 20 day appeal period from the Decision in which the Notice will be sent out within 10 days of the Decision. Any appeals received by the Township of Southwold will be forwarded to the Ontario Land Tribunal (formerly Local Planning Appeal Tribunal) for a hearing, in accordance with the *Planning Act*.

Respectfully submitted by:
Bryan Pearce, HBA, CPT, MCIP, RPP
Planner

Approved for submission by:
Lisa Higgs
CAO/Clerk

Appendices:

1. Appendix One: Minor Variance Application MV 2021-10 Drawings

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NOTE: THE PROPOSED BUILDING TIES TO THE PROPERTY LINES ARE DIMENSIONED AS A REFERENCE ONLY TO MEET MUNICIPAL REQUIREMENTS AND HAVE NOT BEEN ESTABLISHED BY A SURVEY.

NOTE: GARAGE CUT DOES NOT TAKE INTO ACCOUNT THE THICKNESS OF THE GARAGE SLAB.

NOTE: ELEVATION OF SANITARY SEWER PDC TO BE VERIFIED ON SITE, PRIOR TO EXCAVATION TO DESIGN UNDERSIDE OF FOOTING ELEVATION.

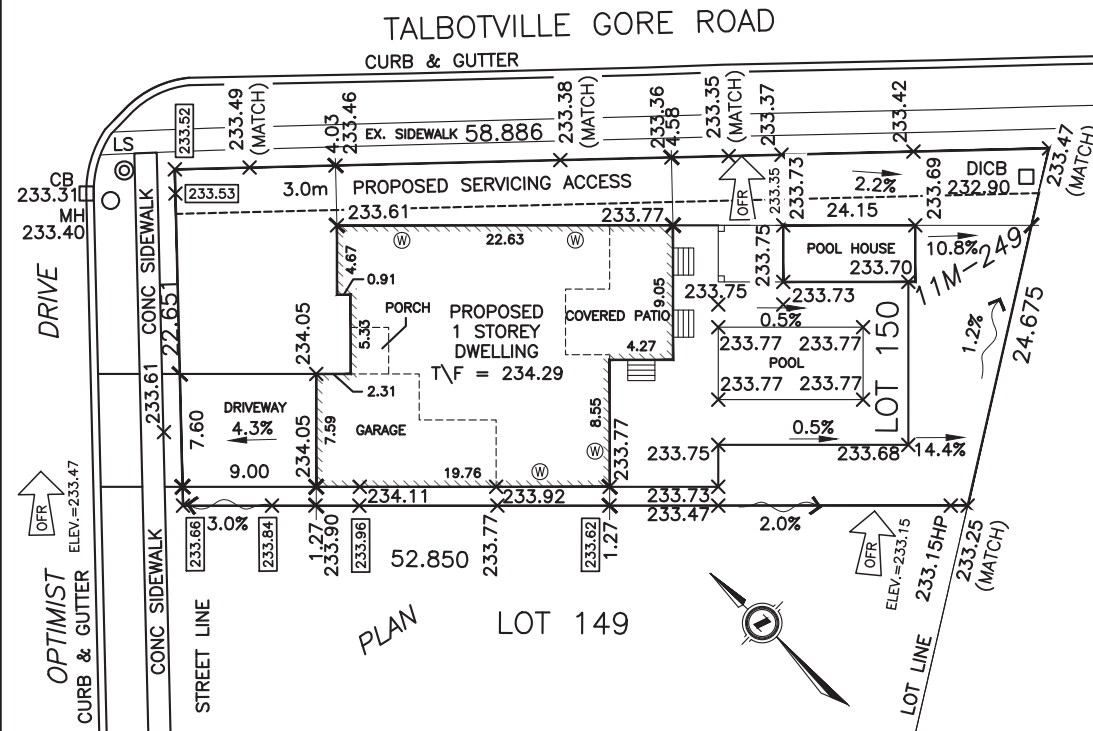
NOTE: SIDEWALK BUILT IN SIDEYARDS MAY REQUIRE RETAINING WALLS.

NOTE: ALL FOOTINGS TO HAVE A MINIMUM OF 4' FROST COVER.

NOTE: GARAGE USF TO TRANSITION AND BE STEPPED TO MAIN BUILDING USF AS PER OBC.

NOTE: REFER TO ARCHITECTURE PLAN FOR TOP OF FOUNDATION STEPPING. MAINTAIN MINIMUM OF 6" SEPARATION FROM TOP OF FOUNDATION TO ADJACENT FINISHED GRADE.

NOTE: STEP FOOTING AS PER O.B.C. PART 9.



CAUTION: THIS IS NOT A PLAN OF SURVEY NOR A SITE PLAN AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

DISTANCES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



CERTIFICATION OF LOT GRADING DESIGN BY: B. R. HYLAND, P. ENG. STRIK, BALDINELLI, MONIZ LTD. | FILE No.: SBM-21-0907

LOT GRADING PLAN

OF ALL OF

LOT 150, PLAN 11M-249

MUNICIPAL NUMBER 127

IN THE TOWNSHIP OF SOUTHWOLD COUNTY OF ELGIN

NOTES:

TOP OF FOUNDATION ELEV.	= 234.29m
8'-11" FDN. WALL HEIGHT MAIN BLDG.	(2.72m)
0'-6" THICK FOOTING	(0.15m)
UNDERSIDE OF FOOTING ELEV. • MAIN BLDG.	= 231.42m
4'-8 3/4" FDN. WALL HEIGHT GARAGE	(1.44m)
0'-6" THICK FOOTING	(0.15m)
UNDERSIDE OF FOOTING ELEV. • GARAGE	= 232.70m
9 3/4" GARAGE CUT	(0.24m)
GARAGE CUT ELEV.	= 234.05m
DRIVEWAY SLOPE	= 4.3%
WINDOW SIZE	= 36"H X 48"W
BASEMENT WINDOW SILL ELEV.	= 233.38m
WINDOW SIZE	= 48"H X 48"W
BASEMENT WINDOW SILL ELEV.	= 233.07m

LEGEND:

271.00	PROPOSED SPOT ELEVATION
271.00	SUBDIVISION GRADE (BY OTHERS)
2.0%	PROPOSED SWALE
2.0%	PROPOSED SLOPE
	PROPOSED BUILDING
LS	PROPOSED LIGHT STANDARD
CB	PROPOSED CATCH BASIN
MH	PROPOSED MAINTENANCE HOLE
W	PROPOSED WINDOW WELL
OFR	OVERLAND FLOW ROUTE (BY OTHERS)

REFERENCE DOCUMENTS:

- SUBDIVISION GRADING BY STRIK, BALDINELLI, MONIZ LTD., FILE No. SBM-19-0116, STAMPED 2021-03-30.
- BUILDING DESIGN INFORMATION BY PHILDELITY DESIGN, FILE No. 21-116_Lot 150 Optimist_SBM, DATED 2021-06-23.
- POOL HOUSE DESIGN INFORMATION BY PHILDELITY DESIGN, FILE No. 21-130, DATED 2021-07-22.
- POOL DESIGN INFORMATION BY Highbury Pools Ltd., FILE No. 67-16-32-1, DATED 2021-07-22.
- PLAN OF SUBDIVISION REFERENCE 11M-249.

ENGINEER'S CERTIFICATE:

I HEREBY CERTIFY THAT THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING DESIGN AND THAT THE PROPOSED GRADING IS IN GENERAL CONFORMITY FOR DRAINAGE AND RELATIVE ELEVATIONS, WITH THE ACCEPTED SUBDIVISION GRADING PLANS FILED WITH THE CITY ENGINEER AND/OR ATTACHED TO THE SUBDIVISION AGREEMENT.

ZONING BASED ON : R1

COVERAGE CALCULATIONS

	AREA (m ²)	COVERAGE (%)
SITE AREA	1302.72	100.00
LOT COVERAGE	418.16	32.10
DRIVEWAY AREA	69.06	5.30
LANDSCAPE AREA	815.50	62.60

**PRELIMINARY
NOT FOR
CONSTRUCTION**



1599 Adelaide St. N, Unit 203,
London, Ontario, N5X 4E8
Tel: (519) 914-1134
Fax: (519) 471-0034



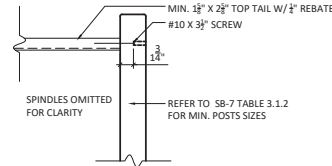
DESIGN:	BW	CAD FILE:	SBMG-21-0115
CHECKED:	BBW	PLOT DATE:	2021/08/17

CLIENT: KARIM DESIGN & BUILD

GENERAL CONSTRUCTION NOTES

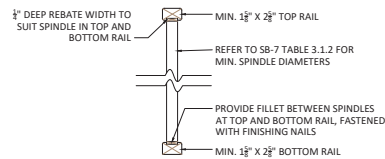
1. ALL STEEL LINTELS SUPPORTING BRICK TO HAVE 6" MIN. BEARING AT EACH END.
2. MASONRY VENEER THAT IS 3 1/2" THICK SHALL NOT PROJECT MORE THAN 1" FROM SUPPORTING BASE & 1/2" FROM SUPPORTING BASE WHERE THE MASONRY VENEER IS LESS THAN 3 1/2" THICK.
3. MASONRY FLASHINGS TO CONFORM TO SUBSECTION 9.20.13.
4. CONCRETE STAIRS TO BE CANTILEVERED SHALL BE CONSTRUCTED & INSTALLED IN CONFORMANCE WITH SUBSECTION 9.8.10.
5. CONCRETE STAIRS WITH MORE THAN 2 TREADS & 2 RISERS REQUIRES TO BE SUPPORTED ON A FOUNDATION WALL OR CANTILEVERED FROM THE MAIN FOUNDATION WALL.
6. DOORS & WINDOWS TO COMPLY TO FORCED ENTRY REQUIREMENTS 9.7.5.2 & 9.7.5.3.
7. PROVIDE WEEP HOLES IN BRICK IN ACCORDANCE WITH 9.20.13.8.
8. MORTAR JOINT THICKNESS IN MASONRY VENEER SHALL BE 3/8".
9. STEEL ANGLE LINTELS SHALL PRIMED AND PAINTED.
10. PROVIDE MIN. 3 1/2" OF END BEARING FOR ALL BEAMS.
11. CAULK PERIMETER OF ALL DOORS, WINDOWS, EXHAUSTS, PIPES, ETC., PENETRATING EXTERIOR WALLS TO WALL.
12. PROVIDE WEEP HOLES AT BOTTOM OF MASONRY WALLS AND AT LINTELS SPACED NOT MORE THAN 2'-7" APART.
13. ALL CHIMNEYS TO EXTEND 2'-11" ABOVE THE HIGHEST POINT AT WHICH THE CHIMNEY COMES IN CONTACT WITH THE ROOF & NOT LESS THAN 24" ABOVE THE HIGHEST ROOF SURFACE OR STRUCTURE WITHIN 9'-10" OF THE CHIMNEY.
14. CHIMNEY CAP TO HAVE 1" (MIN.) OVERHANG FROM ALL SIDES.
15. ROOF FLASHINGS TO CONFORM TO SUBSECTION 9.26.4.
16. PROVIDE ELECTRICAL & LIGHTING FACILITIES AS PER SECTION 9.34.
17. CHIMNEY SADDLES ARE REQUIRED IF THE UPPER SIDE OF THE CHIMNEY ON A SLOPING ROOF IS MORE THAN 2'-6" WIDE.
18. ROOF & ATTIC VENTILATION MUST CONFORM TO SUBSECTIONS 9.19.1.1 TO 9.19.1.4.
19. ALL CHIMNEYS & FIREPLACES TO CONFORM TO SECTION 9.21 & 9.22.
20. EXCEPT WHERE A DOOR PROVIDES DIRECT ACCESS TO THE EXTERIOR, FLOOR LEVELS CONTAINING BEDROOMS MUST HAVE ONE WINDOW OPENING WITH AN UNOBSTRUCTED AREA OF 3.8 SQ. FT. (MIN.) WITH NO DIMENSION LESS THAN 15" & 3'-3" MAX. FROM FLOOR LEVEL.
21. STAIRS, UNIFORM RISE/RUN
RISE = 5" MIN.
= 7 7/8" MAX.
RUN = 8 1/4" MIN.
= 14" MAX.
TREAD = 9 3/8" MIN.
= 11" MAX.
NOSING HEADROOM = 6'-5" MIN.
WIDTH HANDRAILS = 2'-10" MIN.
= 34" MIN. TO 38" MAX.
PROJECTION OF HANDRAILS MIN. 2"
22. GUARDS TO BE:
INTERIOR - 35 3/4" HEIGHT MIN.
- 4" OPENING MAX.
- NON-CLIMBABLE
23. EXTERIOR GUARDS TO BE 35 3/4" MIN. WHERE THE WALKING SURFACE OF THE PORCHES, DECKS, LANDINGS & BALCONIES ARE LESS THAN 5'-11" ABOVE FINISHED GRADE 9.8.8.3.
24. STAIRS TO BASEMENTS TO BE ENCLOSED BY WALLS OR GUARDS.
25. MINIMUM HEADROOM BELOW BEAMS AND DUCTS TO BE 6'-5" AND 6'-11" IN ALL OTHER AREAS.
26. ALL GUARDS TO CONFORM TO SB-7 OF THE O.B.C.
27. PROVIDE 22" X 28" ATTIC ACCESS INTO ATTIC SPACES.
28. ALL STUD WALLS BETWEEN GARAGE & LIVING AREAS TO BE 2 X 6 STUDS @ 16" O.C. C/W R22 INSULATION & 1/2" GYPSUM BOARD.
29. ALL AIR BARRIERS TO BE CONTINUOUS & SEALED WITH MANUFACTURER RECOMMENDED SEALANT AT ALL JOINTS, PENETRATIONS & INTERFACE WITH ADJACENT MATERIALS.
30. SEAL TOP OF FOUNDATION WALL TO AIR BARRIER, FOUNDATION WALL TO CONCRETE SLAB & ALL PENETRATIONS THROUGH CONCRETE SURFACES.
31. R-12 INSULATION BEHIND RISERS ON EXTERIOR WALLS & UNDER DUCTS IN CEILINGS ABOVE UNHEATED SPACE.
32. COORDINATE ALL EXTERIOR DOOR & WINDOW ROUGH OPENINGS WITH DOOR & WINDOW SUPPLIER.
33. ALL SMOKE ALARMS ARE TO HAVE A VISUAL SIGNALING COMPONENT CONFORMING TO THE REQUIREMENTS OF 18.5.3 OF NFPA 72.
34. PROVIDE A 3-WAY SWITCH AT THE TOP & BOTTOM OF STAIRS.
35. UNDERCUT ALL DOORS 3/4" TO ROOMS WITHOUT RETURN AIR.
36. WHEN BASEMENT FINISHED, PROVIDE MIN. 1 FORCED AIR SUPPLY OUTLET PER ROOM. EXTEND ALL SUPPLY AIR DUCTWORK TO FLOOR LEVEL TO PROVIDE LOW WALL AIR SUPPLY AND TO BATH EXTERIOR WALLS.

TYPICAL GUARD DETAILS



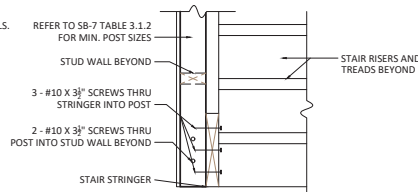
TYPICAL INTERIOR POST TO RAIL CONNECTION

(AS PER OBC 2012 - SB-7 - DETAIL IA-1)
SCALE: 1" = 1'-0"



TYPICAL INTERIOR SPINDLE SET INTO RAILS

(AS PER OBC 2012 - SB-7 - DETAIL IC-1)
SCALE: 1" = 1'-0"



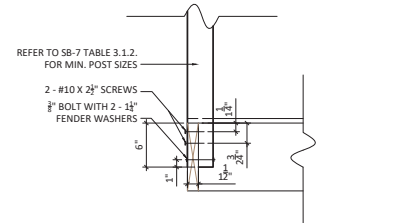
TYPICAL INTERIOR POST SCREWED TO STRINGER AND STUD WALL

(AS PER OBC 2012 - SB-7 - DETAIL IG-3)
SCALE: 1" = 1'-0"

WALL TYPES

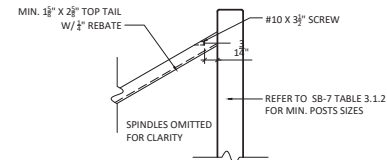
TYPICAL LOADBEARING WALL	OR	TYPICAL NON-LOADBEARING WALL	TYPICAL PLUMBING WALL
3/4" GYPSUM BOARD 2X4 WOOD STUD @ 12" O.C. 3/4" GYPSUM BOARD	3/4" GYPSUM BOARD 2X6 WOOD STUDS @ 16" O.C. 3/4" GYPSUM BOARD *WHERE NO FINISH IS INSTALLED ON STUDS, PROVIDE BLOCKING SECURED TO STUDS AT MID-HEIGHT	3/4" GYPSUM BOARD 2X4 WOOD STUD @ 16" O.C. 3/4" GYPSUM BOARD	3/4" GYPSUM BOARD 2X6 WOOD STUD @ 16" O.C. 3/4" GYPSUM BOARD

TYPICAL EXTERIOR MASONRY VENEER	TYPICAL EXTERIOR GARAGE WALL
3/8" BRICK/STONE 1" AIR SPACE TYVEK HOUSEWRAP 3/4" OSB SHEATHING OR 3/4" SECUROCK SHEATHING 2X6 WOOD STUDS @ 16" O.C. R22 BATT INSULATION 6 MIL POLY VAPOUR BARRIER 3/4" GYPSUM BOARD TYPICAL EXTERIOR SIDING VENEER SIDING AS SPECIFIED TYVEK HOUSEWRAP 3/4" OSB SHEATHING OR 3/4" SECUROCK SHEATHING 2X6 WOOD STUDS @ 16" O.C. R22 BATT INSULATION 6 MIL POLY VAPOUR BARRIER 3/4" GYPSUM BOARD	3/8" BRICK/STONE 1" AIR SPACE 3/4" OSB SHEATHING 2X4 WOOD STUDS @ 16" O.C. R12 BATT INSULATION (IF SPEC'D ON PLAN) 3/4" GYPSUM BOARD TYPICAL SMOKE SEAL WALL 3/4" GYPSUM BOARD 6 MIL POLY VAPOUR BARRIER 2X6 WOOD STUD @ 16" O.C. R22 BATT INSULATION 3/4" GYPSUM BOARD *SEAL ALL PENETRATIONS AND JOINTS WITH APPROVED SEALANT



TYPICAL INTERIOR POST CONNECTION TO RIM JOIST

(AS PER OBC 2012 - SB-7 - DETAIL IB-1)
SCALE: 1" = 1'-0"



TYPICAL INTERIOR RAIL TO POST CONNECTION

(AS PER OBC 2012 - SB-7 - DETAIL IF-1)
SCALE: 1" = 1'-0"

LEGEND

ALUM	ALUMINUM	HW	HOT WATER HEATER
AF	ABOVE FINISHED FLOOR	LTL	LINTEL
B.P.	BEAM POCKET	ME	MATCH EXISTING
CANT.	CANTILEVER	MIN	MINIMUM
C.O.	SANITARY CLEAN-OUT	MANU	MANUFACTURER
C.D.	CONDENSATE DRAIN	MAX	MAXIMUM
CONC	CONCRETE	N.T.S.	NOT TO SCALE
CONT	CONTINUOUS	O.A.	OPEN AIR
COORD	COORDINATE	O.C.	ON-CENTER
D/B	DEADBOLT	P.T.	PRESSURE TREATED
DIA	DIAMETER	PREFIN	PREFINISHED
D.J.	DOUBLE JOIST	RAD.	RADIUS
DN	DOWN	S.L.	STEEL LINTEL
DW	DISHWASHER	SF	STEP FOOTING
DWG	DRAWING	SIM	SIMILAR
DWR	DRYWALL RETURN	SPF	SUPRISE PINE FUR
E.P.	ELECTRICAL PANEL	ST	STOVE
EQ	EQUAL	T.D.	TROUGH DRAIN
F/B	FLUSHBOLT	T/O	TOP OF
F.D.	FLOOR DRAIN	T.J.	TRIPLE JOIST
FO	FINISHED OPENING	TYP	TYPICAL
FR	FRIDGE	U.N.O.	UNLESS NOTED OTHERWISE
F.S.	FLOOR SUPPLIER	U/S	UNDERSIDE
FTG	FOOTING	W.M.	WATER MAIN
FDN	FOUNDATION	HRV	EXHAUST FAN TO HRV
HMD	HOLLOW METAL DOOR	EXT	EXHAUST FAN TO EXTERIOR
HMDI	HOLLOW METAL DOOR INSULATED		
HMF	HOLLOW METAL FRAME		
HMDI	HOLLOW METAL FRAME INSULATED		
HRV	HEAT RECOVERY VENTILATOR		

SB-12 - ENERGY EFFICIENCY SUMMARY				
ELEVATION	WALL AREA	GLAZING AREA	GLAZING %	REMARKS
N.E.	456 sq.ft.	54 sq.ft.	-	
S.E.	650 sq.ft.	16 sq.ft.	-	
S.W.	554 sq.ft.	130 sq.ft.	-	
N.W.	643 sq.ft.	22 sq.ft.	-	
TOTAL	2303 sq.ft. (214 sq.m)	222 sq.ft. (21 sq.m)	10%	

General Notes

DO NOT SCALE DRAWINGS. WORK TO DIMENSIONS SHOWN. CONTRACTOR AND ALL SUB-TRADES MUST CHECK THEIR DIMENSIONS AND DETAILS PRIOR TO PROCEEDING WITH ANY WORK OR FABRICATION.
ALL DIMENSIONS AND SIZE DESIGNATIONS GIVEN ARE SUBJECT TO VERIFICATION ON JOB SITE AND ADJUSTMENT TO FIT JOB CONDITIONS.
THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH THE STRUCTURAL DRAWINGS.

01	ISSUED FOR PERMIT	10/06/20
No.	Revision/Issue	Date



PROJECT NAME AND ADDRESS
Lot 150 Optimist Dr
Talbotville Meadows
Talbotville, ON

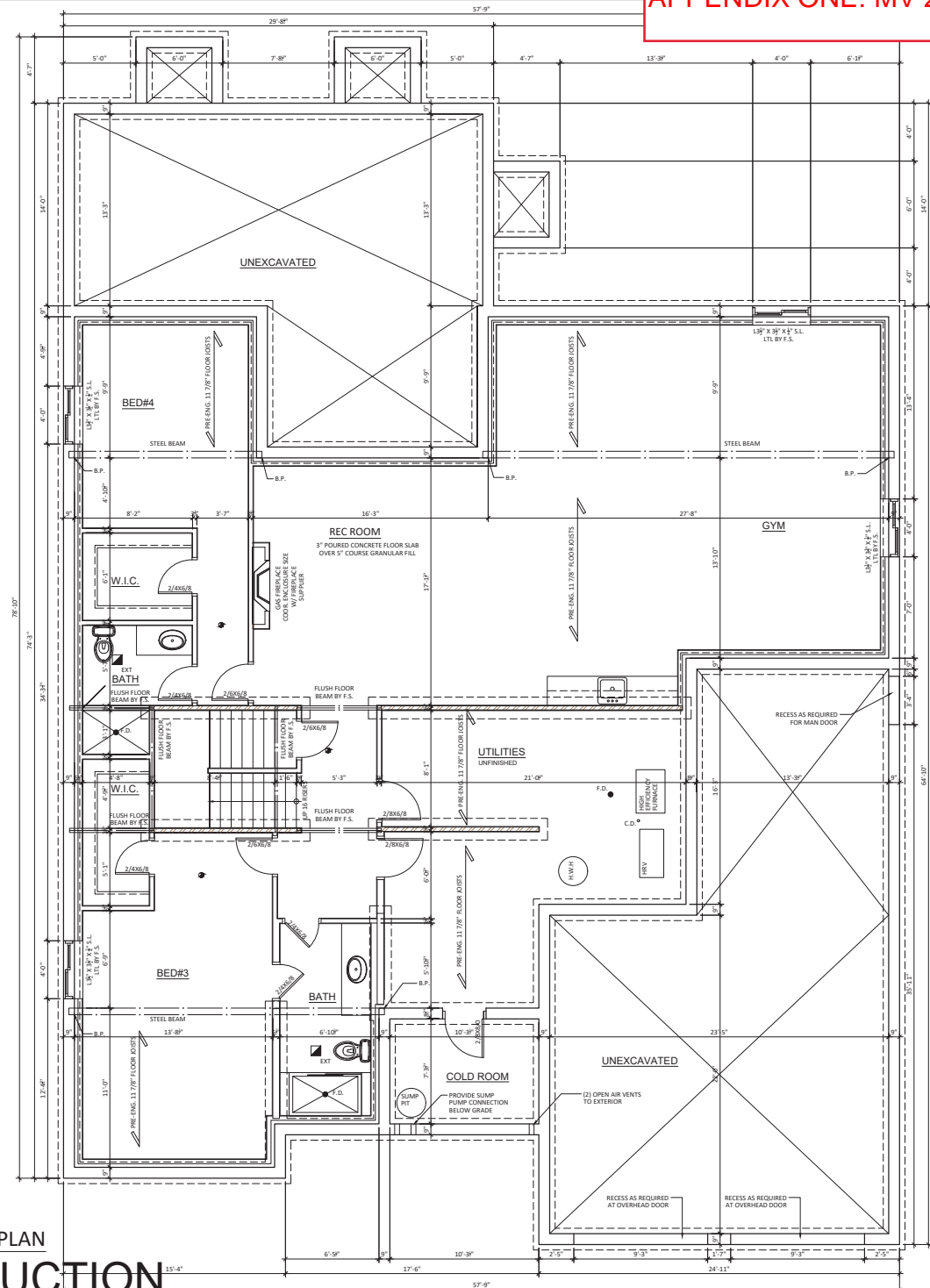
DRAWING TITLE
GENERAL NOTES,
ABBREVIATIONS,
BEAM SCHEDULE,
WALL TYPES &
GUARD DETAILS

Project	21-116	Date	06-OCT-20
Drawn By	PA	Sheet	A0
Checked By	PA		
Scale	AS NOTED		

NOT FOR CONSTRUCTION

FOOTING & FOUNDATION NOTES

1. ALL CONCRETE SHALL CONFORM TO SECTION 9.3.1 OF CURRENT OBC.
2. FOOTINGS SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL.
3. PROVIDE 18" X 6" MIN. FOOTING FOR TWO STOREY MASONRY AND SIDING/STUCCO WALLS UNLESS NOTED OTHERWISE.
4. PROVIDE 20" X 6" MIN. FOOTING FOR ALL TWO STOREY MASONRY WALLS UNLESS NOTED OTHERWISE.
5. PROVIDE 26" X 8 1/2" FOOTING FOR ALL THREE STOREY MASONRY VENER WALLS UNLESS NOTED OTHERWISE.
6. PROVIDE 18" X 6" FOOTINGS FOR ALL INTERIOR WALLS SUPPORTING UP TO TWO FLOORS UNLESS NOTED OTHERWISE.
7. STEPPED FOOTINGS ON FIRM SOIL SHALL NOT EXCEED A VERTICAL RISE OF 23 5/8" AND HORIZONTAL DISTANCE BETWEEN RISE SHALL BE NOT LESS THAN 23 5/8".
8. FOUNDATION WALLS & FOOTING CONCRETE STRENGTH TO BE MIN. 20MPa.
9. EXTERIOR CONCRETE SLABS TO HAVE 5-8% AIR ENTRAINMENT.
10. EXTERIOR FOUNDATION WALLS SHALL EXTEND MIN. 6" ABOVE GRADE.
11. WHERE THE FOUNDATION IS REDUCED IN THICKNESS AT THE TOP FOR THE INSTALLATION OF FLOOR JOISTS, THE REDUCED THICKNESS SHALL BE NO MORE THAN 13 3/4" HIGH AND NOT LESS THAN 3 1/2" THICK.
12. WHERE THE FOUNDATION IS REDUCED IN THICKNESS AT THE TOP FOR THE INSTALLATION OF MASONRY, THE REDUCED THICKNESS SHALL BE NOT LESS THAN 3 1/2" THICK, TIED TO THE MASONRY WITH METAL TIES SPACED 7 7/8" O.C. VERTICALLY, 35" O.C. HORIZONTALLY AND THE SPACE BETWEEN WALL AND MASONRY FILLED WITH MORTAR.
13. AT FOUNDATION WALLS LONGER THAN 82'-0", PROVIDE CONTROL JOINTS AT 49'-3" INTERVALS MAX.
14. REMOVE ALL FORM TIES FLUSH WITH WALL MIN.
15. PROVIDE 1/2" ANCHOR BOLTS @ 7'-10" O.C. MAX. EMBEDDED 4" MIN. INTO FOUNDATION WALLS FOR SILL PLATE ATTACHMENT.
16. PROVIDE 2 COATS OF ASPHALT DAMPROOFING TO ALL BELOW GRADE FOUNDATION WALLS.



FOUNDATION PLAN

AREA: 1971 SQ. FT.

NOT FOR CONSTRUCTION

General Notes

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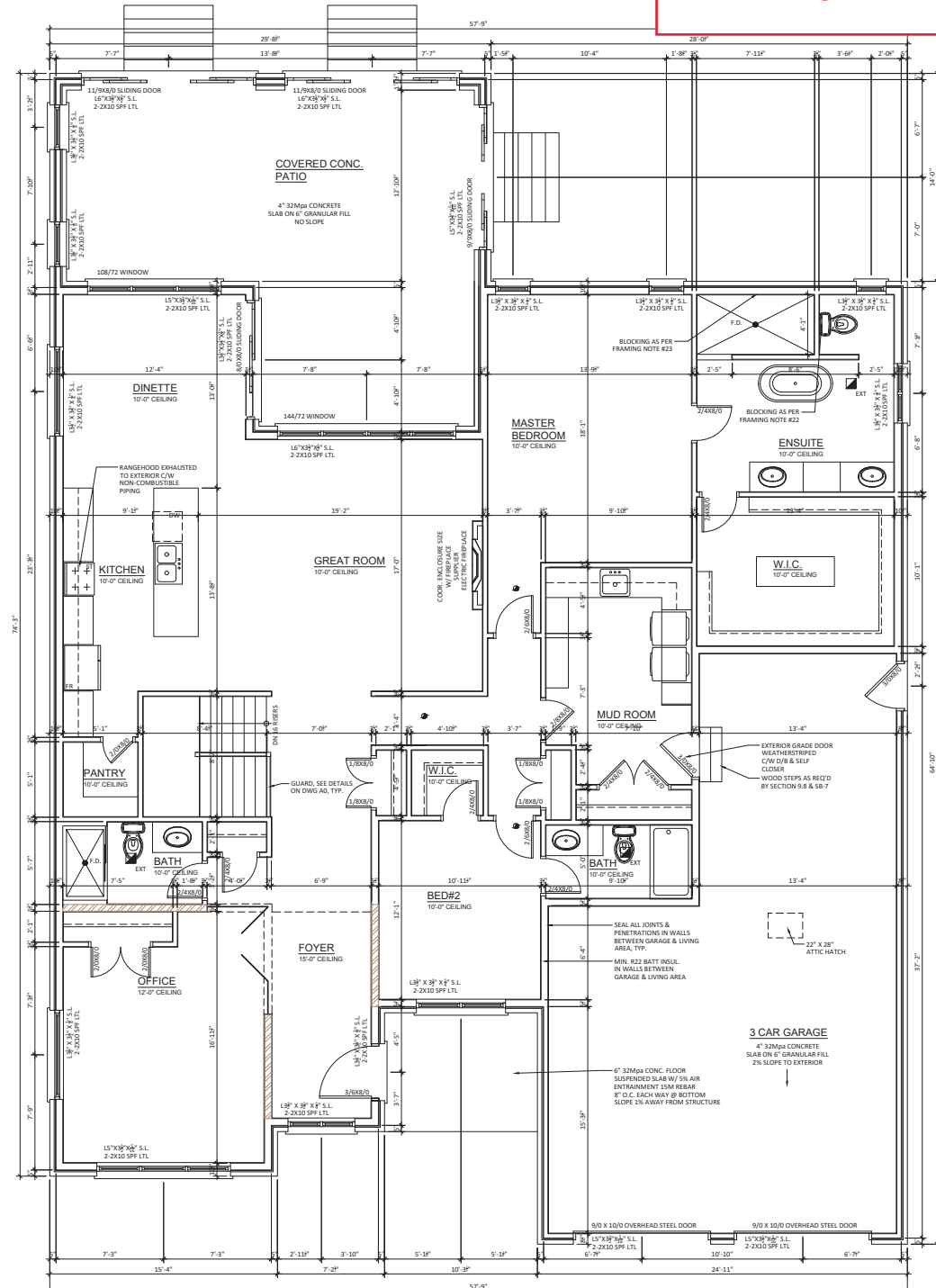
PROJECT NAME AND ADDRESS
Lot 150 Optimist Dr
Talbotville Meadows
Talbotville, ON

DRAWING TITLE
FOUNDATION
PLAN

Project	21-116	DATE	06-OCT-20
DRAWN BY	PA	Sheet	A1
CHECKED BY	PA		
Scale	1/4" = 1'-0"		

FRAMING NOTES

1. NAILS SHALL BE COMMON STEEL WIRE OR COMMON SPIRAL NAILS CONFORMING TO CSA B111.
2. NAILS SHALL BE LONG ENOUGH, SO THAT NOT LESS THAN HALF THEIR REQUIRED LENGTH PENETRATES INTO THE SECOND MEMBER.
3. FASTENER LENGTHS SHALL CONFORM TO TABLES 9.23.3.4 & 9.23.3.5 OF CURRENT OBC.
4. PROVIDE MIN. 6mil POLY UNDER ALL WOOD IN CONTACT WITH CONCRETE.
5. HOLES DRILLED IN CONVENTIONAL LUMBER ROOF RAFTERS, FLOOR JOISTS AND CEILING MEMBERS SHALL BE NOT MORE THAN ONE-QUARTER THE DEPTH OF THE MEMBER AND SHALL BE LOCATED NOT LESS THAN 2" FROM THE EDGES. NOT APPLICABLE FOR PRE-ENGINEERED JOISTS & ROOF TRUSSES.
6. CONVENTIONAL LUMBER ROOF RAFTERS, FLOOR JOISTS AND CEILING MEMBERS ARE PERMITTED TO BE NOTCHED PROVIDED THE NOTCH IS LOCATED ON THE TOP OF THE MEMBER WITHIN HALF THE JOIST DEPTH FROM THE EDGE OF BEARING AND IS NOT DEEPER THAN ONE-THIRD THE JOIST DEPTH. NOT APPLICABLE FOR PRE-ENGINEERED JOISTS & ROOF TRUSSES.
7. WALL STUDS ARE PERMITTED TO BE NOTCHED OR DRILLED PROVIDED NOT LESS THAN TWO-THIRDS OF THE STUD IS UNDAUNAGED, UNLESS THE STUDS ARE SUITABLY REINFORCED.
8. ROOF TRUSSES SHALL NOT BE NOTCHED OR DRILLED UNLESS ALLOWED FOR IN THE TRUSS DESIGN.
9. BEAMS AND LINTELS SHALL HAVE NOT LESS THAN 3 1/2" OF BEARING AT END SUPPORTS.
10. EXCEPT FLOOR JOISTS SUPPORTED BY RIBBON BOARDS, JOISTS SHALL HAVE MIN. 1 1/2" LENGTH END BEARING.
11. NON-LOADBEARING WALLS PARALLEL TO JOISTS SHALL BE SUPPORTED BENEATH BY JOISTS OR BLOCKING BETWEEN JOISTS, MIN. 2X4 LUMBER, SPACED NOT MORE THAN 47" APART.
12. WHERE BRIDGING SPECIFIED, PROVIDE 2X2 CROSS BRIDGING LOCATED NOT MORE THAN 6'-11" APART AND FROM EACH SUPPORT.
13. WHERE STRAPPING SPECIFIED, PROVIDE 1X3 NAILED TO UNDERSIDE OF FLOOR JOISTS, LOCATED NOT MORE THAN 6'-11" APART AND FROM EACH SUPPORT.
14. WALL STUDS SHALL BE CONTINUOUS FROM FLOOR TO UPPERMOST CEILING.
15. PROVIDE MIN. OF 2 STUDS AT EACH CORNER AND INTERSECTION ORIENTATED TO ADEQUATELY SUPPORT VERTICAL EDGES OF SHEATHING AND CLADDING MATERIALS.
16. PROVIDE ONE KING STUD AND ONE JACK STUD SECURED TOGETHER AT EACH SIDE OF OPENINGS UNLESS NOTED OTHERWISE.
17. STUD POSTS SHALL BE FASTENED TOGETHER TO FORM POST.
18. PROVIDE MIN. TWO TOP PLATES IN LOAD BEARING WALLS AND JOINTS SHALL BE STAGGERED OVER MIN. ONE STUD SPACINGS.
19. LINTELS OVER OPENINGS IN NON-LOAD BEARING WALLS SHALL BE FRAMED WITH MIN. TWO OF THE SAME WALL STUDS, FASTENED TOGETHER AND INSTALLED WITH FACE DIMENSION VERTICAL.
20. EACH PLY IN LINTELS OVER OPENINGS SHALL BE FASTENED TOGETHER WITH MIN. (2)-3.25" NAILS SPACED 2" O.C. VERTICALLY, 1" FROM TOP & BOTTOM, 16" O.C. HORIZONTALLY AND 4" FROM EACH END, U.N.O.
21. WHERE CERAMIC FLOORING IS INSTALLED, SUBFLOOR TO BE REINFORCED.
22. PROVIDE BLOCKING FOR FUTURE GRAB BARS WHERE NOTED ON DRAWINGS. BLOCKING ADJACENT WALL CLOSET TO SUIT MIN. 30" GRAB BAR INSTALLED AT 30-50 DEGREES, SLOPING UPWARDS AWAY FROM WATER CLOSET WITH LOW POINT OF GRAB BAR BEING 30"-35" A.F.F. & 2" IN FRONT OF WATER CLOSET. BLOCKING IN WALL BEHIND WATER CLOSET TO SUIT MIN. 24" GRAB BAR 6" ABOVE TANK.
23. AT TUBS/SHOWERS, PROVIDE BLOCKING OPPOSITE THE ENTRANCE TO THE TUB/SHOWER TO SUIT MIN. 36" GRAB BAR MOUNTED 33 1/2" A.F.F.
24. ALL EXTERIOR CLADDING TO CONFORM TO SUBSECTION (9.27)
25. PROVIDE FOAM GASKET AND CAULKING UNDER ALL UPPER FLOOR WALL PLATES
26. FOR ALL HOUSES WITH 2 X 6 EXTERIOR WALL CONSTRUCTION, EXTEND WINDOW AND DOOR JAMBS TO SUIT
27. PROVIDE SOLID BLOCKING ON BOTH SIDES AT THE LOCK HEIGHT BETWEEN JAMBS & FRAME FOR ALL EXTERIOR DOORS.
28. WHERE BUILT-UP WOOD BEAMS SPECIFIED, CONNECT EACH PLY WITH (2)-3" NAILS @ 16" O.C. & 4" FROM ENDS, U.N.O.
29. WHERE A POST IS SPECIFIED, SOLID BLOCKING SHALL BE PROVIDED BELOW POST DOWN THROUGH TO FOOTING



General Notes

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No.	Revision/Issue	Date
01	ISSUED FOR PERMIT	10/06/20



PROJECT NAME AND ADDRESS
Lot 150 Optimist Dr
Talbotville Meadows
Talbotville, ON

DRAWING TITLE
MAIN FLOOR PLAN

Project	21-116	DATE	06-OCT-20
DRAWN BY	PA	Sheet	
CHECKED BY	PA		
Scale	1/4" = 1'-0"		

A2

NOT FOR CONSTRUCTION
MAIN FLOOR PLAN
AREA: 2318 S.F.



NORTHWEST ELEVATION

NOT FOR CONSTRUCTION

General Notes

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No.	Revision/Issue	Date



5240 GERRARD AVE. E. UNIT 101, SCARBOROUGH, ONTARIO M1S 4T6
TEL: (416) 291-4000 FAX: (416) 291-4001 EMAIL: phoenixdesign@gmail.com

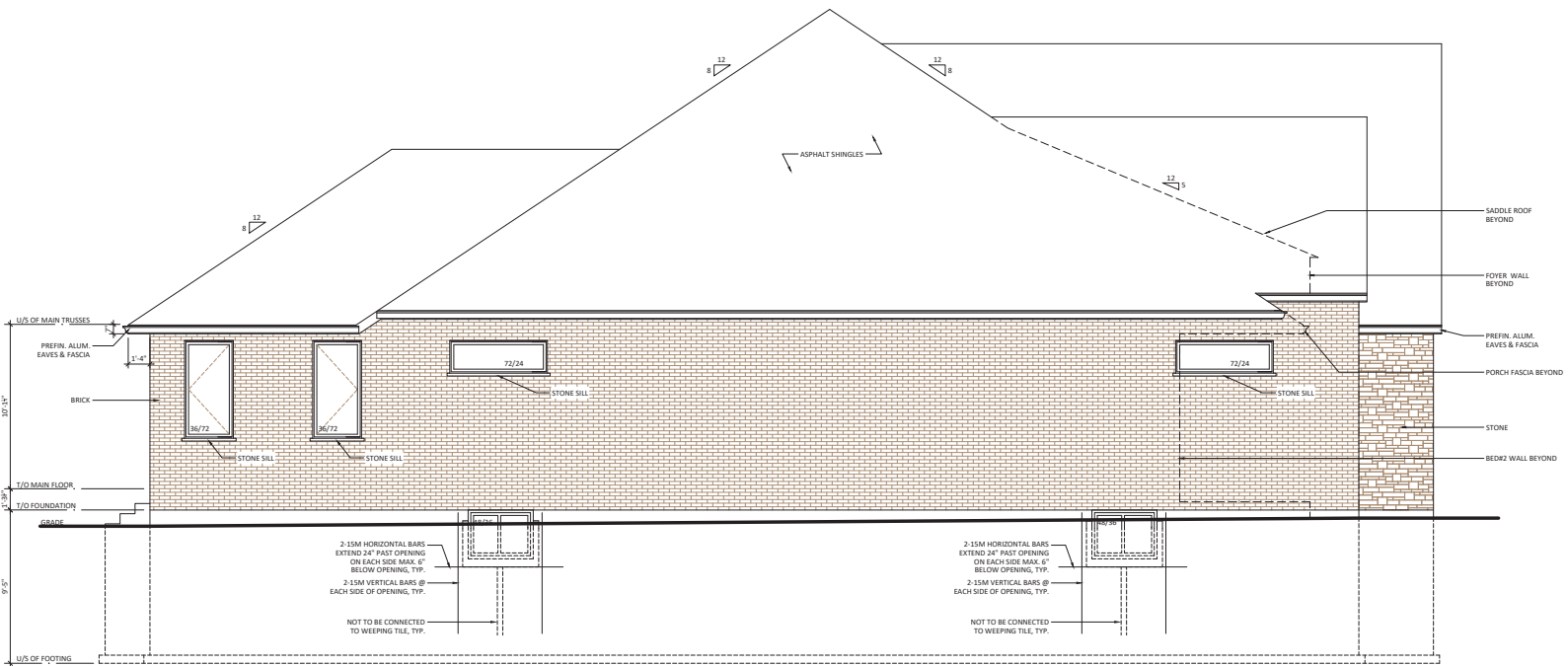


PROJECT NAME AND ADDRESS
Lot 150 Optimist Dr
Talbotville Meadows
Talbotville, ON

DRAWING TITLE
NORTHWEST
ELEVATION

Project 21-116	DATE 06-OCT-20
DRAWN BY PA	Sheet
CHECKED BY PA	A3
Scale 1/4" = 1'-0"	

PLA 2021-33
APPENDIX ONE: MV 2021-10 DRAWINGS



NORTHEAST ELEVATION

NOT FOR CONSTRUCTION

General Notes

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No.	Revision/Issue	Date
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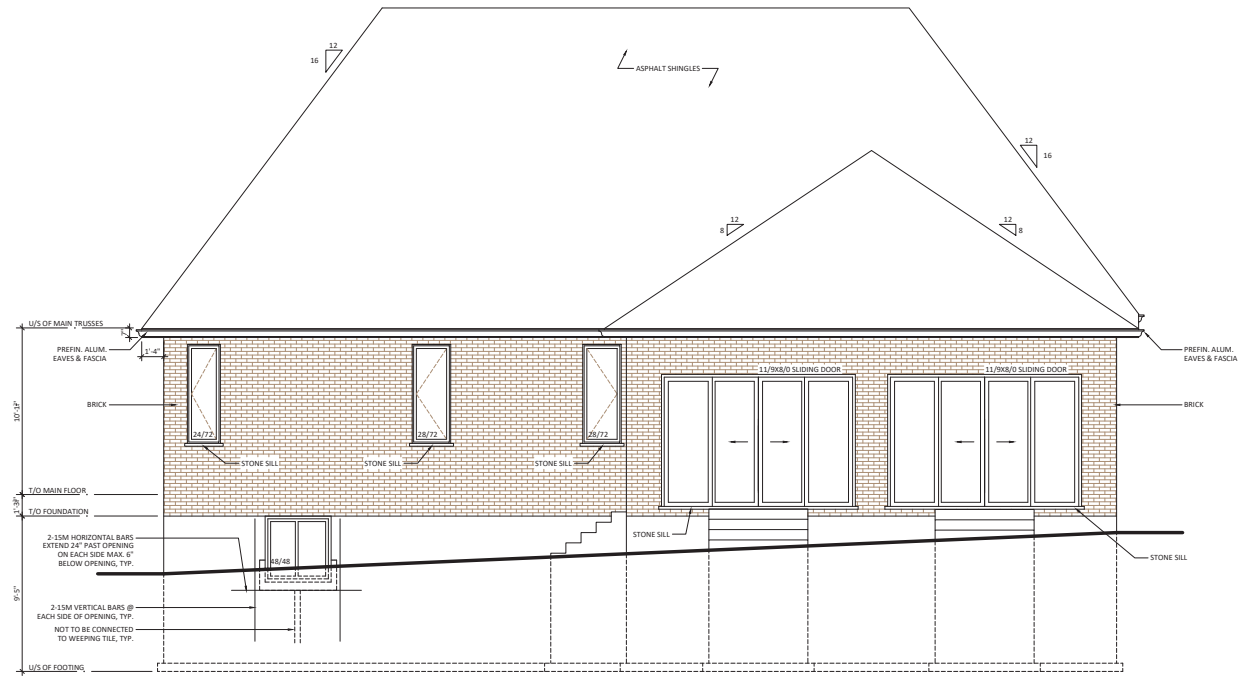


CLIENT NAME AND ADDRESS
Lot 150 Optimist Dr
Talbotville Meadows
Talbotville, ON

DRAWING TITLE
NORTHEAST
ELEVATION

Project 21-116	DATE 06-OCT-20
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CHECKED BY PA	A4
Scale 1/4" = 1'-0"	

PLA 2021-33
APPENDIX ONE: MV 2021-10 DRAWINGS



SOUTHEAST ELEVATION

NOT FOR CONSTRUCTION

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01	ISSUED FOR PERMIT	10/06/20

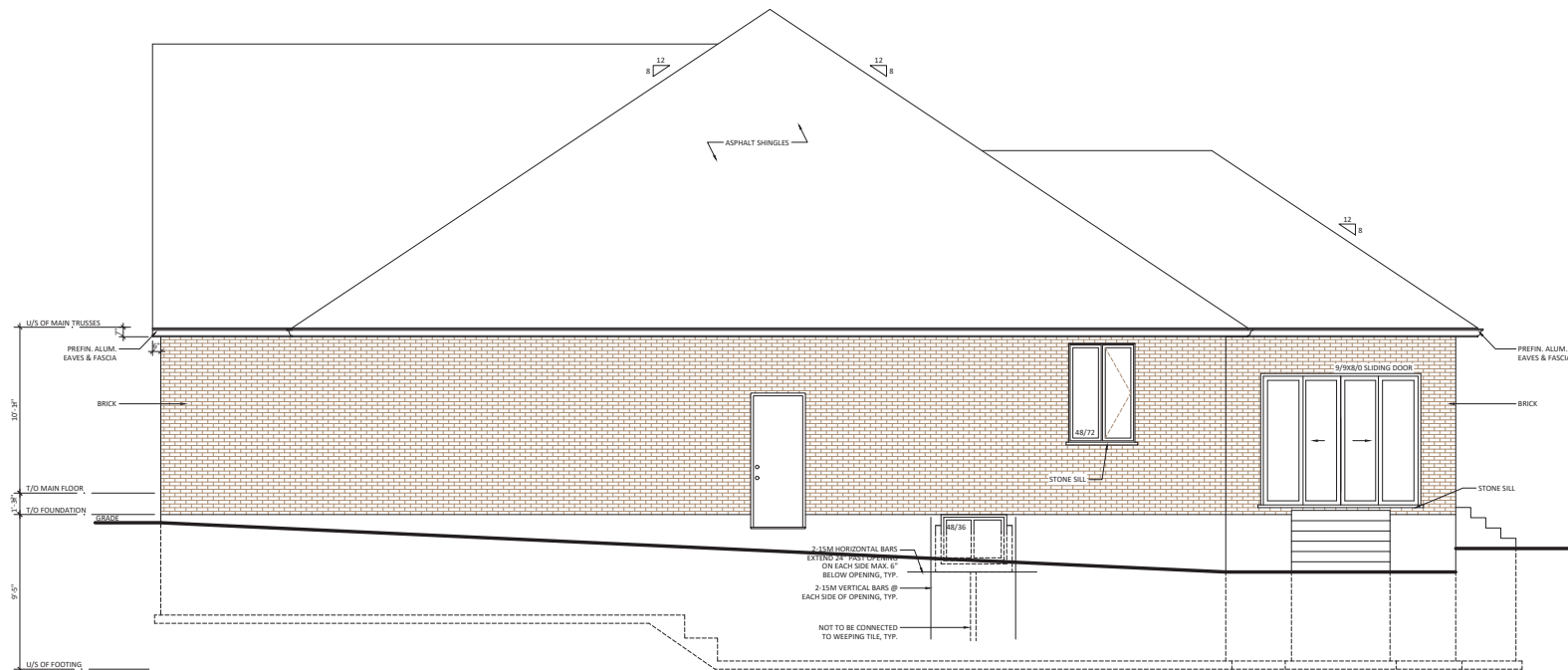


PROJECT NAME AND ADDRESS
Lot 150 Optimist Dr
Talbotville Meadows
Talbotville, ON

DRAWING TITLE
SOUTHEAST
ELEVATION

Project 21-116	DATE 06-OCT-20
DRAWN BY PA	Sheet
CHECKED BY PA	A5
Scale 1/4" = 1'-0"	

PLA 2021-33
APPENDIX ONE: MV 2021-10 DRAWINGS



SOUTHWEST ELEVATION

NOT FOR CONSTRUCTION

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No.	Revision/Issue	Date
01	ISSUED FOR PERMIT	10/06/20



PROJECT NAME AND ADDRESS

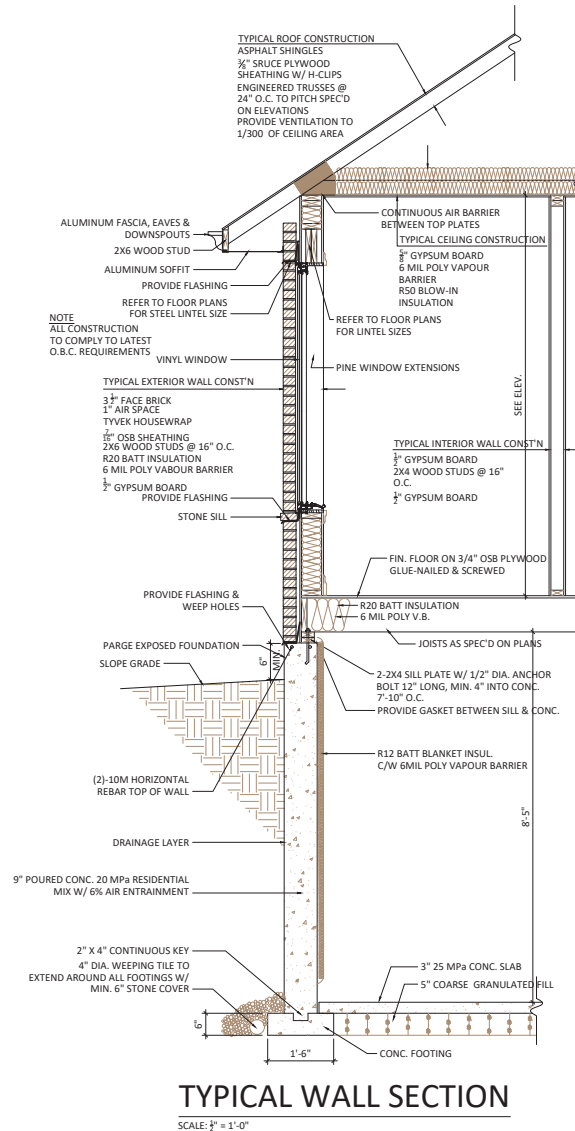
Lot 150 Optimist Dr
Talbotville Meadows
Talbotville, ON

DRAWING TITLE

SOUTHWEST
ELEVATION

Project	21-116	DATE	06-OCT-20
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Scale	1/4" = 1'-0"		

PLA 2021-33
APPENDIX ONE: MV 2021-10 DRAWINGS



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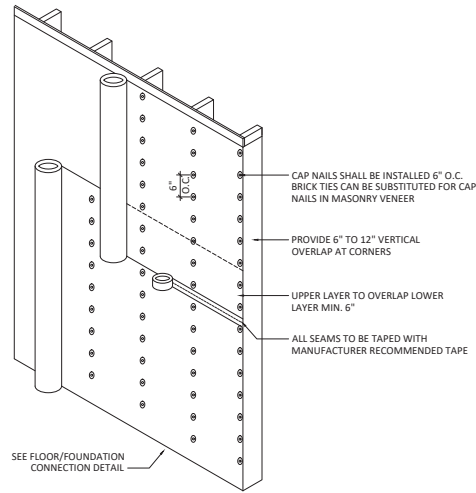
No.	Revision/Issue	Date
01	ISSUED FOR PERMIT	10/06/20



PROJECT NAME AND ADDRESS
Lot 150 Optimist Dr
Talbotville Meadows
Talbotville, ON

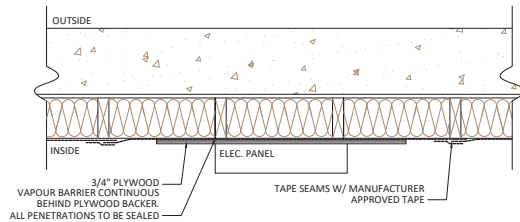
DRAWING TITLE
WALL SECTION & DETAIL

Project 21-116	DATE 06-OCT-20
DRAWN BY PA	Sheet
CHECKED BY PA	A7
Scale AS NOTED	



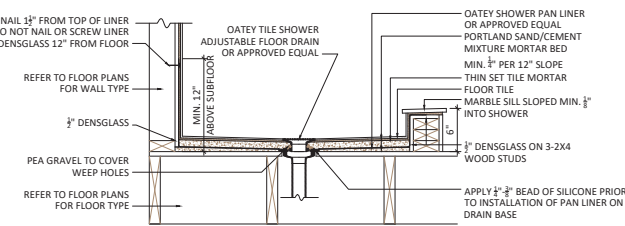
AIR BARRIER DETAIL

SCALE: $\frac{3}{4}'' = 1'-0''$



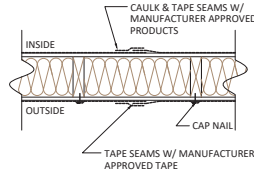
AIR BARRIER @ ELEC. PANEL

SCALE: $1'' = 1'-0''$



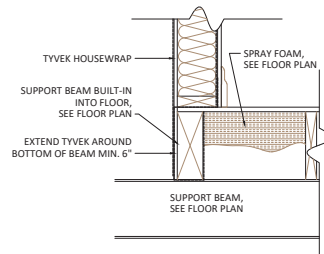
SHOWER PAN DETAIL

SCALE: $1'' = 1'-0''$



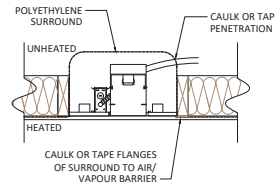
TYPICAL JOINT IN AIR BARRIER

SCALE: $1'' = 1'-0''$



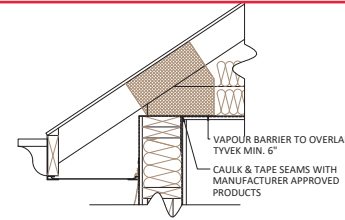
TYPICAL AIR BARRIER @ BEAM

SCALE: $1'' = 1'-0''$



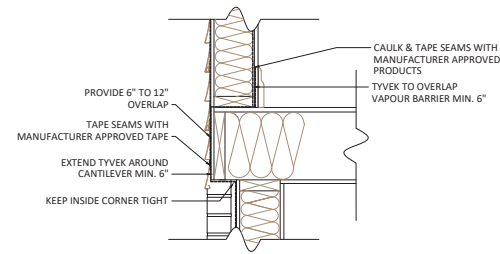
TYPICAL AIR BARRIER @ PENETRATIONS

SCALE: $1'' = 1'-0''$



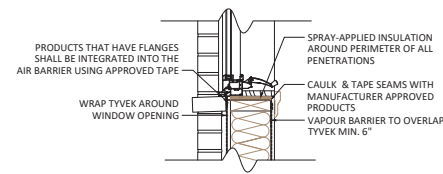
TYPICAL AIR BARRIER @ CEILING

SCALE: $1'' = 1'-0''$



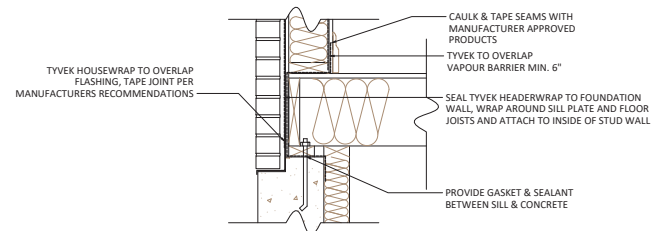
TYPICAL AIR BARRIER @ CANTILEVER FLOOR

SCALE: $1'' = 1'-0''$



TYPICAL AIR BARRIER @ WINDOWS/DOORS

SCALE: $1'' = 1'-0''$



TYPICAL AIR BARRIER @ FLOOR/FOUNDATION CONNECTION

SCALE: $1'' = 1'-0''$

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PROJECT NAME AND ADDRESS
Lot 150 Optimist Dr
Talbotville Meadows
Talbotville, ON

DRAWING TITLE
AIR/VAPOUR BARRIER DETAILS & SHOWER PAN DETAIL

Project	21-116	DATE	06-OCT-20
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Scale	AS NOTED		

