

THE CORPORATION OF THE TOWNSHIP OF SOUTHWOLD



A G E N D A

Monday January 24, 2022

COMMITTEE OF ADJUSTMENT

6:00 p.m., Via Video Link

-
1. CALL TO ORDER
 2. ADDENDUM TO AGENDA
 3. DISCLOSURE OF PECUNIARY INTEREST
 4. ADOPTION OF MINUTES
 - (a) Minutes of Committee of Adjustment meeting of December 13, 2021
 5. NEW BUSINESS
 - (a) Minor Variance Application MV 2022-01 Don West Construction Ltd. C/O L. Sibley
49 Royal Crescent
 6. ADJOURNMENT



Meeting of the Committee of Adjustment
Monday December 13, 2021
Council Chamber, Fingal/via video link

MEMBERS PRESENT: Chairperson: Mayor Grant Jones
Members: Deputy Mayor Robert Monteith
Councillor Peter North,
Councillor: Justin Pennings

Township Administration Present: Lisa Higgs, Secretary-Treasurer
Bryan Pearce, Planner

In Attendance:

- J. Van Dyk, agent for P. Murphy, owner of East Part Lot 12, Concession NTRE, Township of Southwold
- Bill and Marie Ostrander, owners of 8577 Burwell Road, Township of Southwold
- Mark and Grada Caughell, owners of 7859 Burwell Road, Township of Southwold
- Kevin and Tracey Moore, owners of 37474 Talbot Line, Township of Southwold
- Lyle and Rita Rycroft, owners of 10063 Mill Road, Township of Southwold
- Christine Noble, owner of 9981 Mill Road, Township of Southwold
- Vince Varallo, owner of Varo Homes, builder of the house at 48 Optimist Drive, Township of Southwold

C of A 2021-38 MOVED BY: Member Monteith
SECONDED BY: Member North

RESOLVED that the regular Council meeting adjourn to sit as a Committee of Adjustment to hear minor variance applications MV 2021-12, filed by P. Murphy C/O J. Van Dyk, MV 2021-13, filed by K. and T. Moore, MV 2021-14, filed by 8735506 Canada Ltd o/a Vara Homes C/O Vince Varallo at **7:32 p.m.**

CARRIED

C of A 2021-39 MOVED BY: Member Pennings
SECONDED BY: Member Monteith

RESOLVED that the minutes from the Committee of Adjustment meeting of November 22, 2021 are hereby adopted.

CARRIED

MV 2021-12

Chairperson Jones called the public hearing of the Committee of Adjustment for MV 2021-12 to order. He reported that this minor variance is required for the issuance of a building permit. The applications are seeking relief from Section 3.9(a) Regulations of the General Provisions for Frontage on a Public Road, to permit future construction of buildings and structures subject to zoning regulations, on an unopened and unmaintained road allowance of McDiarmid Line, subject to the following conditions:

1. That the Owner enter into an Agreement with the Municipality for the use of an unopened and unmaintained road allowance, known as McDiarmid Line, from the subject lands to the intersection with Burwell Road

No members of the committee stated having a disclosure of interest on this application.

The Secretary-Treasurer reported that signs were posted on the property by December 3rd, 2021 and notices were mailed to property owners within 60 metres on December 2nd, 2021.

Planner Bryan Pearce presented his report to the members of the Committee of Adjustment and the public.

Member Emons questioned if the Planner could familiarize the committee with the by-law as some members were not present when it was originally passed. Mr. Pearce responded that the by-law was passed in 2014. The Township felt the need to establish a public usage by-law for unopened road allowances and the procedures to enter into an agreement with the Township. The agreement would include conditions such as insurance, letter of credit and road maintenance. After comments were received from staff, a draft agreement will be prepared. Once the property owner has agreed to the conditions a formal agreement will be prepared by a solicitor.

Member Monteith questioned if the same process is used for all unopened road allowances. Mr. Pearce commented that any unopened road allowances that are owned by the Township would have to go through this process as per the 2014 by-law. It would make sense with this lot on McDiarmid Line as it is land locked.

Chairperson Jones commented that this road will remain unopened and maintained by the property owner. Mr. Pearce said this is the best solution for the property as it follows official plan policy and is subject to the agreement.

Ms. Higgs commented that the committee is not committing to the terms of the agreement, but are committing to a minor variance subject to the applicant entering into an agreement. If the agreement is not entered into, the minor variance is invalid and a home will not be constructed. This the planning side, as the Zoning By-Law does not allow homes without frontages on public roadway.

Member Emons commented that the rest of the laneway that is in existence and is being used without an agreement will not remain without an agreement. Ms. Higgs commented that she is working with a solicitor to rectify this situation.

Member North questioned what is preventing the other parcel owners coming in and asking us the same thing. Mr. Pearce responded that there are a number of parcels that have access to Fingal Line or Talbot Line. Not too many have land locked parcels. There could be possibilities.

Member Monteith questioned if there was ever a right -a-way to this property. Mr. Pearce responded no, that there is nothing on title.

Member Pennings questioned if there was a watermain going down this road. Mr. Pearce responded that there is a municipal 2-inch water main.

Mr. and Mrs. Caughell commented that they have no issues with this application.

The Secretary- Treasurer reported that comments were received from staff and detailed in the planning report. Comments were also received from the Lower Thames Conservation Authority and detailed in the planning report.

C of A 2021-40

MOVED BY: Member North

SECONDED BY: Member Emons

RESOLVED that the Committee of Adjustment approves Minor Variance Application MV 2021-12, filed by P. Murphy C/O J. Van Dyk as per the attached decision sheet.

CARRIED



**COMMITTEE OF ADJUSTMENT FOR
THE CORPORATION OF THE TOWNSHIP OF SOUTHWOLD**

DECISION SHEET

Application No. MV 2021-12
Date of Hearing: December 13, 2021
Owner/Applicant: Patricia Murphy
Applicant: Joel Van Dyk
Description: East Part Lot 12, Concession NTRE
Municipal Address: To Be Assigned

Lot Description:

Frontage 206.5 metres (677.5 feet)
Depth 496.5 metres (1,628.8 feet)
Area 10 hectares (24.7 acres)

In the matter of Section 45(1) of The Planning Act R.S.O 1990, the Township of Southwold Comprehensive Zoning By-law 2011-14, and an application for **minor variance**.

The owners are requesting a Minor Variance to seek relief from Section 3.9 Regulations of the General Provisions for Frontage on a Public Road, to permit future construction of buildings and structures subject to zoning regulations, on an unopened and unmaintained road allowance of McDiarmid Line.

Decision:

The application is hereby **granted** to obtain relief from Section 3.9(a) Regulations of the General Provisions for Frontage on a Public Road, to permit future construction of buildings and structures subject to zoning regulations, on an unopened and unmaintained road allowance of McDiarmid Line, subject to the following conditions:

1. That the Owner enter into an Agreement with the Municipality for the use of an unopened and unmaintained road allowance, known as McDiarmid Line, from the subject lands to the intersection with Burwell Road.

Reasons, in accordance with Report PLA 2021-41:

1. The variance maintains the intent and purpose of the Official Plan.
2. The variance maintains the intent and purpose of the Zoning By-law.
3. The variance requested is desirable for the appropriate and orderly development and use of the lands and buildings.
4. The variance is minor in nature.

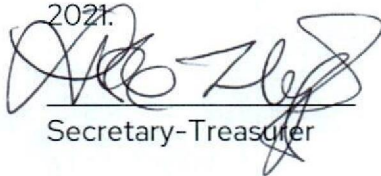
The effect of written and oral submissions on the Decision is contained within Report PLA 2021-41 and the minutes of the Committee of Adjustment Meeting of December 13, 2021.

We, the undersigned, concur in the decision and reasons given for the decision of the Committee of Adjustment for the Township of Southwold of this 13th day of December, 2021.

ELECTRONIC RECORDED VOTE	TO GRANT	TO REFUSE	Absent	Present
Chairperson and Committee Member, Grant Jones	<u>✓</u>	<u> </u>	()	(✓)
Committee Member, Robert Monteith	<u> </u>	<u>✓</u>	()	(✓)
Committee Member, Justin Pennings	<u>✓</u>	<u> </u>	()	(✓)
Committee Member, Peter North	<u>✓</u>	<u> </u>	()	(✓)
Committee Member, Sarah Emons	<u>✓</u>	<u> </u>	()	(✓)

*******CERTIFICATION OF COMMITTEE'S DECISION*******

I, Lisa Higgs, being the Secretary-Treasurer of the Committee of Adjustment for the Township of Southwold, certify that this is a true copy of the Committee's decision on the 13th day of December, 2021.


Secretary-Treasurer

December 13, 2021
Date

Chairperson Jones reported that the last day for appealing this decision is January 3rd, 2022. If you wish to be notified of the decision of the Committee in respect of this application, you must submit a written request to the Township of Southwold Committee of Adjustment. If you are not the applicant, you should request a copy of the decision since it may be appealed to the Ontario Land Tribunal (formerly Local Planning Appeal Tribunal) by the applicant or another member of the public.

MV 2021-13

Chairperson Grant Jones called the Committee of Adjustment hearing for MV 2021-13 to order. He reported that this application for a Minor Variance is required for the issuance of a building permit and the applicants are seeking relief from Section 3.46 Regulations of the General Provisions for Shipping Containers, to permit the existing shipping (storage) containers to be located on the subject lands.'

No member of the Committee declared a disclosure of interest on this application.

The Secretary- Treasurer reported that signs were posted on the property by December 3rd, 2021 and notices were mailed to property owners within 60 metres on December 2nd, 2021.

Planner Bryan Pearce presented his report to the members of the Committee of Adjustment and the public.

No questions were asked from the Committee Members.

The Secretary-Treasurer reported that comments were received from staff and were detailed in the planning report. Written submissions were received from the County of Elgin Transportation Department and the Lower Thames Valley Conservation Authority. Both were detailed in the planning staff report. Additional comments were received after the Planning Staff report was finalized. Comments were received from the following:

1. Lyle and Rita Rycroft, 10063 Mill Road, email dated December 9, 2021
2. Christine Noble, 9981 Mill Road, email dated December 9, 2021 and December 12, 2021

Lyle and Rita Rycroft, on December 9, 2021 noted the following:

We are apprehensive regarding the minor variance applications for the property residing on 37474 Talbot Line. We have had the

south end of our property line legally surveyed by Callon Dietz this past November.

However, we have not yet received the formal documentation from Callon Dietz. We dispute this proposal as we have not acquired the documentation we feel is necessary to establish an informed decision regarding this proposal.

Regarding the letter for the survey property residing on 37474 Talbot Line, the site plan appears to be only an estimate. Has there been a formal or legal survey done on the property?

Once again, we dispute this proposal until further clarification. We are looking forward to the meeting.

Christine Noble, on December 9 and 12th, noted the following and the comments were read verbatim by Secretary- Treasurer Lisa Higgs:

I do not agree with this application.

The Moore's placed the orange trailer (#1 in the diagram) beside their garage 4 or 5 years ago. I was aware at the time that it broke the by-laws but I did not want any problems with my neighbours so I did not register a complaint.

After splitting the cost of removing a large willow tree on our adjoining property line in the summer of 2020, the Moore's moved the orange trailer to the back of the property line (previously in the trees) and also installed another 2 storage containers. They also trucked in at least 14 dump trucks full of gravel and have created a drainage problem at that side of my property. I advised Mr. Moore at that time that I was unhappy with the placement/look of the trailers and he agreed to paint the trailer adjoining my property green (the colour I requested, I thought I would make the best of a bad situation). I also advised Mr. Moore that there are now drainage issues in spring of this year but he did not seem interested.

This summer the Moore's tried to install a roof on the trailers. I asked him at the time if he had a building permit and he advised he did not and work stopped. He has since stated to you that he was not installing a roof however the photo #2 attached clearly shows he was lifting trusses onto the top of the trailer and he confirmed in our conversation at the time that this was his intent.

The orange trailer has been there for several years and has never been maintained. It now buckles in the middle and has creases in the body as evidenced by the attached photos. I do not think it can serve its intended purpose as storage any longer. The drainage at the adjoining property line has never been addressed. There is also a lot of garbage (large steel bin and concrete etc at the same corner that has never been cleared and is clearly on his property.

I do not have confidence that if the trailers are allowed to remain that they would be maintained or removed when they no longer serve their intended purpose.

No maintenance has been done on the orange trailer since its arrival 4 or 5 years go. Mr. Moore was well aware he was breaking the by-laws when the first trailer was installed but told me he had friends at the Township so it would not be a problem for him to do what he wishes.

If you allow him to proceed, what is to prevent him from breaking another by-law at his whim and then applying for a further variance?

He apparently feels the rules do not apply to him.

The pin at the adjoining property line in the back corner is also missing. The neighbor behind me had a gentleman inspecting his property lines and provided an estimate of where the pin should be however, this was an estimate, not an exact survey so I do not know exactly where the trailers sits due to the missing pin.

Just an FYI the Moores installed the orange trailer in 2014. That is a fabrication. You can check with Yarmouth Metals. Jamie Brydgee brought a crane in to remove the wheels from beneath the orange trailer when it was placed in 2014. If you are considering grandfathering in the orange trailer you are basing your decision on inaccurate facts. I would also like to state that the orange trailer was moved back 30 to 35 ft. As you can see from the attached photo it was nowhere to be seen at the back of the property line it was originally beside his garage.

Mr. Moore commented that the tree on his property was removed as requested by Ms. Noble and they had agreed to pay half of the cost. Mr. Moore explained that the containers hold old cars for his children and that this is a temporary measure while he saves up to build a shop, but that the trailers are well maintained and

stable, having been placed on a gravel base. Mr. Moore commented that he would do whatever it takes to keep the containers, including meeting the planner's recommendation to plant shrubbery.

C. Noble commented that she has concerns with the property survey/lot lines (which she was instructed to seek out a legal survey), the conditions being fulfilled in the variance (tree planting, 7 year limit), drainage, property values, aesthetics, and fairness.

Member North questioned who came up with the 7 years time frame and Mr. Pearce responded that it was a balance that came about after discussions with the property owners, knowing that they have a non-conforming use of a trailer on their property and were not aware of the amendment by-law. It gives them time to facilitate a plan to decide what they are going to do regarding storage on their property and it is subject to public input.

Ms. Rycroft reported that they have done the land survey but don't have the paperwork to know exactly where the stakes are and concerns that the setbacks are being met by the Moore's. Ms. Rycroft reported that if she was to sell her property she would want to know there are not discrepancies with the boundary lines. Mr. Pearce responded that he looked at an old reference plan, but that property line disputes are resolved through legal survey.

C of A 2021-41

MOVED BY: Member Monteith

SECONDED BY: Member North

RESOLVED that the Committee of Adjustment approves Minor Variance Application MV 2021-13, filed by K. and T. Moore as per the attached decision sheet.

CARRIED



**COMMITTEE OF ADJUSTMENT FOR
THE CORPORATION OF THE TOWNSHIP OF SOUTHWOLD**

DECISION SHEET

Application No. MV 2021-13
Date of Hearing: December 13, 2021
Owner/Applicant: Kevin and Tracy Moore
Description: Part Lot 25, Concession NNBTR; Part 1, RP 11R-6203
Municipal Address: 37474 Talbot Line

Lot Description:

Frontage 58.7 metres (192.6 feet)
Depth 60.1 metres (197.2 feet)
Area 0.37 hectares (0.92 acres)

In the matter of Section 45(1) of The Planning Act R.S.O 1990, the Township of Southwold Comprehensive Zoning By-law 2011-14, and an application for **minor variance**.

The owners are requesting a Minor Variance to seek relief from Section 3.46 Regulations of the General Provisions for Shipping Containers, to permit the existing shipping (storage) containers to be located on the subject lands.

Decision:

The application is hereby **granted** to obtain relief from Section 3.46 Regulations of the General Provisions for Shipping Containers, to permit the existing shipping (storage) containers to be located on the subject lands, subject to the following conditions:

1. That the proposed development is substantially in accordance with the Minor Variance MV2021-13 drawings, as appended to Report PLA 2021-42 and to Schedule A of this decision.
2. That the Owner plant and maintain coniferous trees along the easterly side lot line to obscure the existing shipping containers visibility from the lands to the east, by June 30, 2022, to the satisfaction and clearance of the Township.
3. That the Owner only be permitted to have the existing shipping containers on the subject lands, for a time period up until seven (7) years from the decision, being December 13, 2028.

Reasons, in accordance with Report PLA 2021-42:

1. The variance maintains the intent and purpose of the Official Plan.
2. The variance maintains the intent and purpose of the Zoning By-law.
3. The variance requested is desirable for the appropriate and orderly development and use of the lands and buildings.
4. The variance is minor in nature.

MV 2021-13
TOWNSHIP OF SOUTHWOLD
COMMITTEE OF ADJUSTMENT DECISION
PAGE 2 OF 3

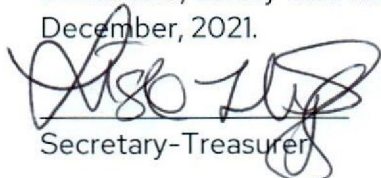
The effect of written and oral submissions on the Decision is contained within Report PLA 2021-42 and the minutes of the Committee of Adjustment Meeting of December 13, 2021.

We, the undersigned, concur in the decision and reasons given for the decision of the Committee of Adjustment for the Township of Southwold of this 13th day of December, 2021.

ELECTRONIC RECORDED VOTE	TO GRANT	TO REFUSE	Absent	Present
Chairperson and Committee Member, Grant Jones	<u>✓</u>	<u> </u>	()	(✓)
Committee Member, Robert Monteith	<u>✓</u>	<u> </u>	()	(✓)
Committee Member, Justin Pennings	<u> </u>	<u>✓</u>	()	(✓)
Committee Member, Peter North	<u>✓</u>	<u> </u>	()	(✓)
Committee Member, Sarah Emons	<u> </u>	<u>✓</u>	()	(✓)

*******CERTIFICATION OF COMMITTEE'S DECISION*******

I, Lisa Higgs, being the Secretary-Treasurer of the Committee of Adjustment for the Township of Southwold, certify that this is a true copy of the Committee's decision on the 13th day of December, 2021.

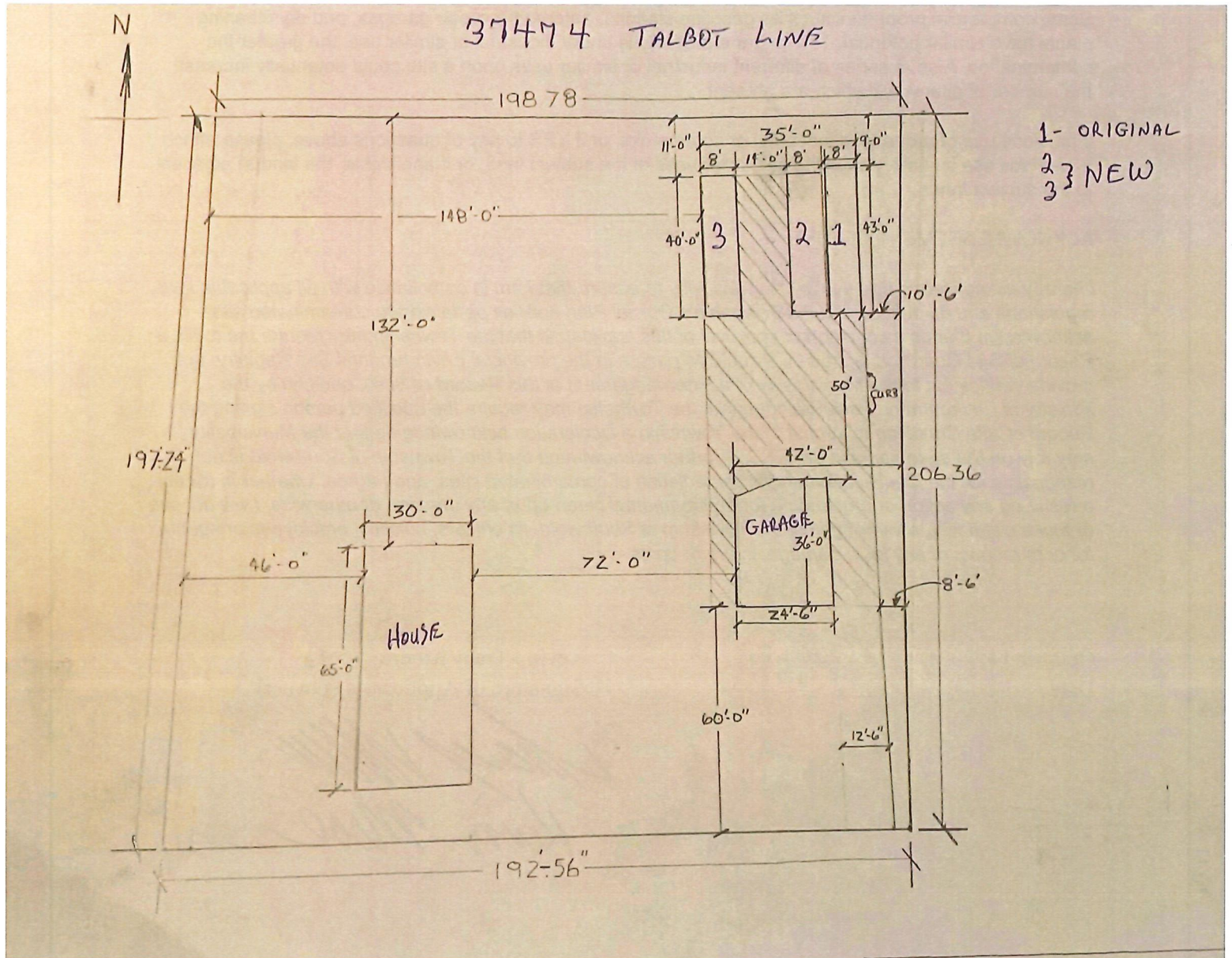

Secretary-Treasurer

December 13, 2021
Date

Schedule A – MV 2021-13

PLA 2021-42

APPENDIX ONE: MV 2021-13 DRAWINGS





Back of Containers Photo

PLA 2021-42

APPENDIX ONE: MV 2021-13 DRAWINGS





View From Back Deck Photo



Chairperson Jones reported the last day for appealing this decision is January 3rd, 2022. If you wish to be notified of the decision of the Committee in respect of this application, you must submit a written request to the Township of Southwold Committee of Adjustment. If you are not the applicant, you should request a copy of the decision since it may be appealed to the Ontario Land Tribunal (formerly Local Planning Appeal Tribunal) by the applicant or another member of the public.

MV 2021-14

Chairperson Grant Jones called the Committee of Adjustment hearing for MV 2021-14 to order. He reported that this application for a Minor Variance is required for the issuance of a building permit and the applicants are seeking relief from Section 8.2(e) Regulations of the Residential 1 (R1) Zone to permit the construction of a 156.08 square metre footprint area, two-storey single detached dwelling with a reduced exterior side yard setback from the required 6.0 metres (19.7 feet) to the proposed 4.0 metres (13.1 feet).'

No member of the Committee declared a disclosure of interest on this application.

The Secretary- Treasurer reported that signs were posted on the property by December 2nd, 2021 and notices were mailed to property owners within 60 metres on December 2nd, 2021.

Planner Bryan Pearce presented his report to the members of the Committee of Adjustment and the public.

No members of the Committee had any questions.

The Secretary-Treasurer reported that comments were received from staff and were detailed in the staff report. No written submissions were received.

The owner/applicant commented that this house is consistent with the others in the area. This corner lot is narrow at the back so this why a variance is warranted. The street scape will be consistent with all the other homes.

C of A 2021-42

MOVED BY: Member Emons

SECONDED BY: Member North

RESOLVED that the Committee of Adjustment approves Minor Variance Application MV 2021-14, filed by 8735506 Canada Ltd o/a Vara Homes C/O Vince Varallo as per the attached decision sheet.

CARRIED



**COMMITTEE OF ADJUSTMENT FOR
THE CORPORATION OF THE TOWNSHIP OF SOUTHWOLD**

DECISION SHEET

Application No. MV 2021-14
Date of Hearing: December 13, 2021
Owner/Applicant: 8735506 Canada Ltd.
o/a Vara Homes Inc.
c/o Vince Varallo
Description: Lot 123, Plan 11M-249
Municipal Address: 48 Optimist Drive

Lot Description:

Frontage 20.0 metres (65.6 feet)
Depth 43.0 metres (141.1 feet)
Area 772 square metres (0.19 acres)

In the matter of Section 45(1) of The Planning Act R.S.O 1990, the Township of Southwold Comprehensive Zoning By-law 2011-14, and an application for **minor variance**.

The owners are requesting a Minor Variance to seek relief from Section 8.2(e) Regulations of the Residential 1 (R1) Zone to permit the construction of a single detached dwelling on the subject lands.

Decision:

The application is hereby **granted** to obtain relief from Section 8.2(e) Regulations of the Residential 1 (R1) Zone to permit the construction of a 156.08 square metre footprint area, two-storey single detached dwelling with a reduced exterior side yard setback from the required 6.0 metres (19.7 feet) to the proposed 4.0 metres (13.1 feet), subject to the following conditions:

1. That the proposed development is substantially in accordance with the Minor Variance MV2021-14 drawings, as appended to Report PLA 2021-43 and to Schedule A of this decision.

Reasons, in accordance with Report PLA 2021-43:

1. The variance maintains the intent and purpose of the Official Plan.
2. The variance maintains the intent and purpose of the Zoning By-law.
3. The variance requested is desirable for the appropriate and orderly development and use of the lands and buildings.
4. The variance is minor in nature.

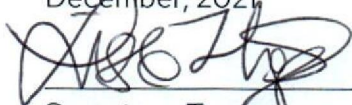
The effect of written and oral submissions on the Decision is contained within Report PLA 2021-43 and the minutes of the Committee of Adjustment Meeting of December 13, 2021.

We, the undersigned, concur in the decision and reasons given for the decision of the Committee of Adjustment for the Township of Southwold of this 13th day of December, 2021.

ELECTRONIC RECORDED VOTE	TO GRANT	TO REFUSE	Absent	Present
Chairperson and Committee Member, Grant Jones	<u>✓</u>	<u> </u>	()	(✓)
Committee Member, Robert Monteith	<u>✓</u>	<u> </u>	()	(✓)
Committee Member, Justin Pennings	<u>✓</u>	<u> </u>	()	(✓)
Committee Member, Peter North	<u>✓</u>	<u> </u>	()	(✓)
Committee Member, Sarah Emons	<u>✓</u>	<u> </u>	()	(✓)

*******CERTIFICATION OF COMMITTEE'S DECISION*******

I, Lisa Higgs, being the Secretary-Treasurer of the Committee of Adjustment for the Township of Southwold, certify that this is a true copy of the Committee's decision on the 13th day of December, 2021.


Secretary-Treasurer

December 13, 2021
Date

Schedule A – MV 2021-14

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NOTE: THE PROPOSED BUILDING TIES TO THE PROPERTY LINES ARE DIMENSIONED AS A REFERENCE ONLY TO MEET MUNICIPAL REQUIREMENTS AND HAVE NOT BEEN ESTABLISHED BY A SURVEY.

NOTE: CONSULT ARCHITECTURE PLAN FOR EXACT BUILDING DIMENSIONS.

NOTE: REFER TO ARCHITECTURE PLAN FOR TOP OF FOUNDATION STEPPING. MAINTAIN MINIMUM OF 6" SEPARATION FROM TOP OF FOUNDATION TO ADJACENT FINISHED GRADE. CLIENT/CONTRACTOR TO CONFER WITH DESIGN FIRM TO OBTAIN DESIRED HEIGHT SEPARATION BETWEEN BRICK LEDGE AND ADJACENT FINISHED GRADE.

NOTE: GARAGE USF TO TRANSITION AND BE STEPPED TO MAIN BUILDING USF AS PER OBC.

NOTE: SIDEWALK BUILT IN SIDEYARDS MAY REQUIRE RETAINING WALLS.

NOTE: STEP FOOTING AS PER O.B.C. PART 9.

NOTE: ALL FOOTINGS TO HAVE A MINIMUM OF 4" FROST COVER.

NOTE: WATER SERVICE CURB STOP AND SANITARY CLEANOUT (IF APPLICABLE) SHALL BE SET AT FINISHED GRADE.

NOTE: GARAGE CUT DOES NOT TAKE INTO ACCOUNT THE THICKNESS OF THE GARAGE SLAB.

NOTE: ELEVATION OF SANITARY SEWER POC TO BE VERIFIED ON SITE, PRIOR TO EXCAVATION TO DESIGN UNDERSIDE OF FOOTING ELEVATION.

SKETCH FOR VARIANCE

OF ALL OF

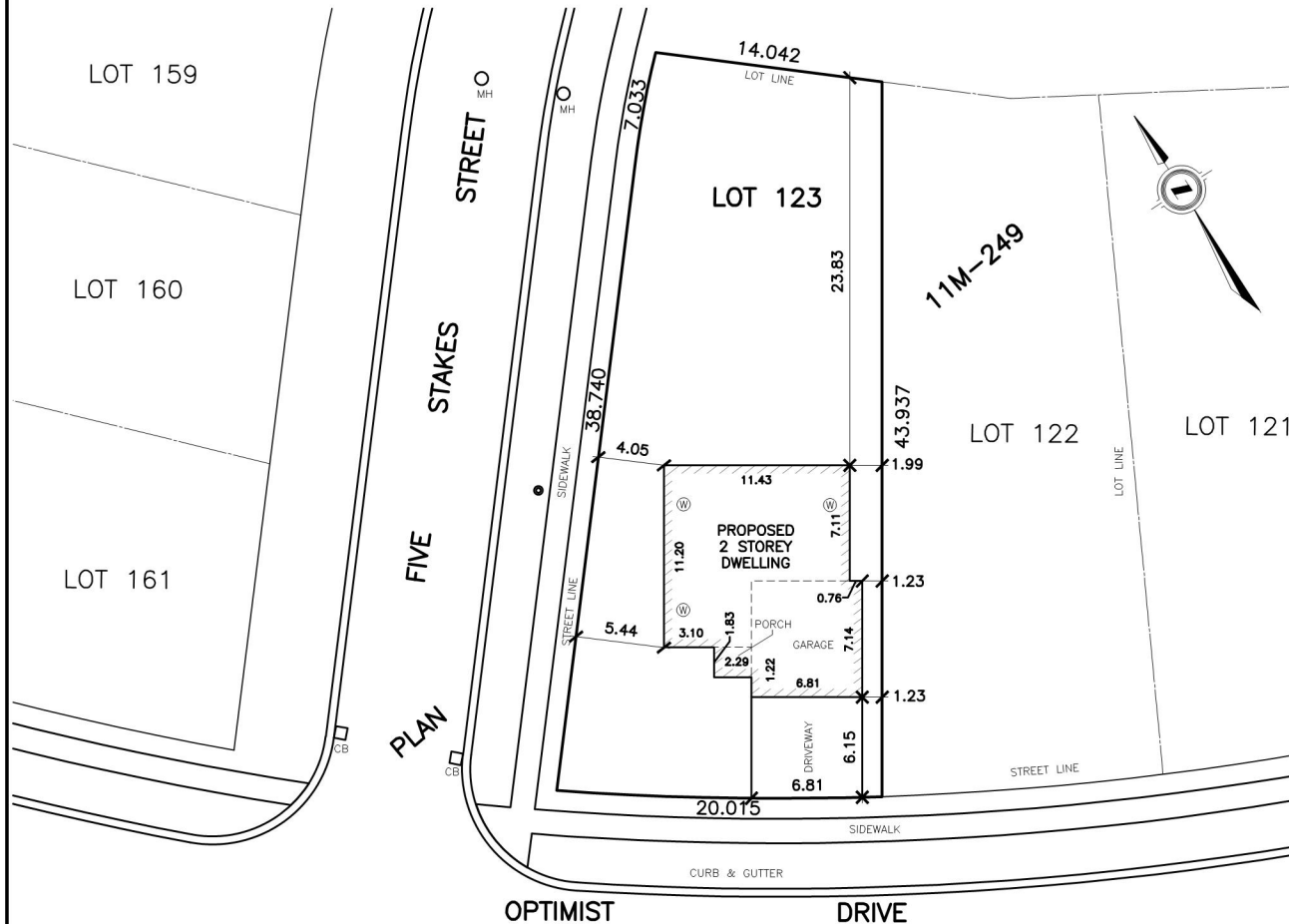
LOT 123, PLAN 11M-249

MUNICIPAL NUMBER 48

**IN THE TOWNSHIP OF SOUTHWOLD
COUNTY OF ELGIN**

LEGEND:

- 271.00 PROPOSED SPOT ELEVATION
- 271.00 SUBDIVISION GRADE (BY OTHERS)
- 2.0% PROPOSED SWALE
- 2.0% PROPOSED SLOPE
- PROPOSED BUILDING
- LS PROPOSED LIGHT STANDARD
- CB PROPOSED CATCH BASIN
- MH PROPOSED MAINTENANCE HOLE
- ELTB PROPOSED ELECTRICAL TRANSBOX
- W PROPOSED WINDOW WELL
- OFR OVERLAND FLOW ROUTE (BY OTHERS)



REFERENCE DOCUMENTS:

- SUBDIVISION GRADING BY STRIK, BALDINELLI, MONIZ LTD., FILE No. SBM-19-0116, STAMPED 2021-03-30.
- BUILDING DESIGN INFORMATION BY CLEAN SLATE CONCEPTS, FILE No. LOT 84 WAYSIDE LANE - WRK2.DWG, RECEIVED BY EMAIL DATED 2021-10-28.
- PLAN OF SUBDIVISION REFERENCE 11M-249.

ENGINEER'S CERTIFICATE:

I HEREBY CERTIFY THAT THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING DESIGN AND THAT THE PROPOSED GRADING IS IN GENERAL CONFORMITY FOR DRAINAGE AND RELATIVE ELEVATIONS, WITH THE ACCEPTED SUBDIVISION GRADING PLANS FILED WITH THE CITY ENGINEER AND/OR ATTACHED TO THE SUBDIVISION AGREEMENT.

ZONING BASED ON : R1

COVERAGE CALCULATIONS

	AREA (m ²)	COVERAGE (%)
SITE AREA	772.65	100.00
LOT COVERAGE	156.08	20.20
DRIVEWAY AREA	42.24	5.47
LANDSCAPE AREA	574.33	74.33

**PRELIMINARY
NOT FOR
CONSTRUCTION**

CAUTION: THIS IS NOT A PLAN OF SURVEY NOR A SITE PLAN AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

DISTANCES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



CERTIFICATION OF LOT GRADING DESIGN BY: B. R. HYLAND, P. ENG.
STRIK, BALDINELLI, MONIZ LTD. | FILE No.: SBM-21-0908



1599 Adelaide St. N, Unit 203,
London, Ontario, N5X 4E8
Tel: (519) 914-1134
Fax: (519) 471-0034



DESIGN: BBW CAD FILE: SBMG-21-0184 CLIENT: VARA HOMES
CHECKED: JAH PLOT DATE: 2021/11/04

PLA 2021-43

APPENDIX ONE: MV 2021-14 DRAWINGS

NOTES:
ROOF AND ATTIC VENTILATION
MUST COMPLY WITH 2012 O.B.C.
9.19.1.1 TO 9.19.1.4.

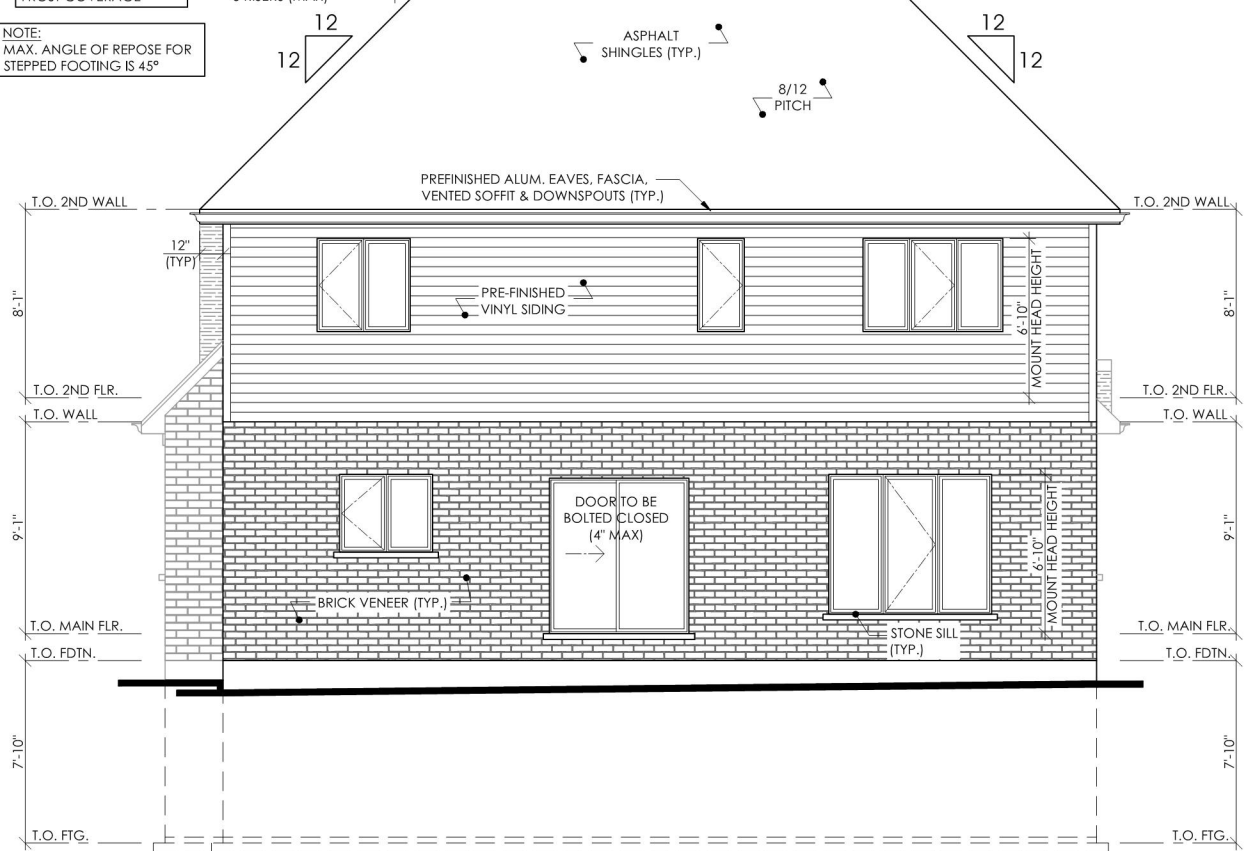
NOTE:
ALL WINDOW SIZES SHOWN ARE TO BE
DETERMINED BY WINDOW
MANUFACTURER R.S.O. SHEET.
ALL WINDOWS CONTAIN LOW 'E'
GLAZING AND ARGON GAS FILL.
- WINDOWS, SLIDING GLASS DOORS TO
HAVE A MIN. ENERGY EFFICIENCY
RATING OF 25 / MAX U VALUE OF 1.6



NOTE:
MAINTAIN MIN. 4'-0" FTG.
FROST COVERAGE

NOTE:
MAX. ANGLE OF REPOSE FOR
STEPPED FOOTING IS 45°

STEP(S) TO SUIT GRADE &
HAVE EQUAL RISE/RUN
7 7/8" RISE (MAX)
14" TREAD (MAX)
3 RISERS (MAX)



**CLEAN SLATE
CONCEPTS INC.**
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London, ON, N6J 4P1
cleanslateconcepts@gmail.com
(519) 709-4422

I Scott Cassar have reviewed and
take responsibility for this design work.
I am qualified & Clean Slate Concepts Inc.
is registered in the appropriate
classes/categories which meet
the requirements set out under
Division C, Part 3 [3.2.4] of the
Ontario Building Code to be a Design Firm.
Individual BCIN# 29025
Firm BCIN# 45807
Signed: *Scott Cassar*

**VARA
HOMES
THE WATERBURY I**
2100 Pennyroyal Street
London, ON, N5X 0E6
vince@varahomes.ca
(519) 619-3898

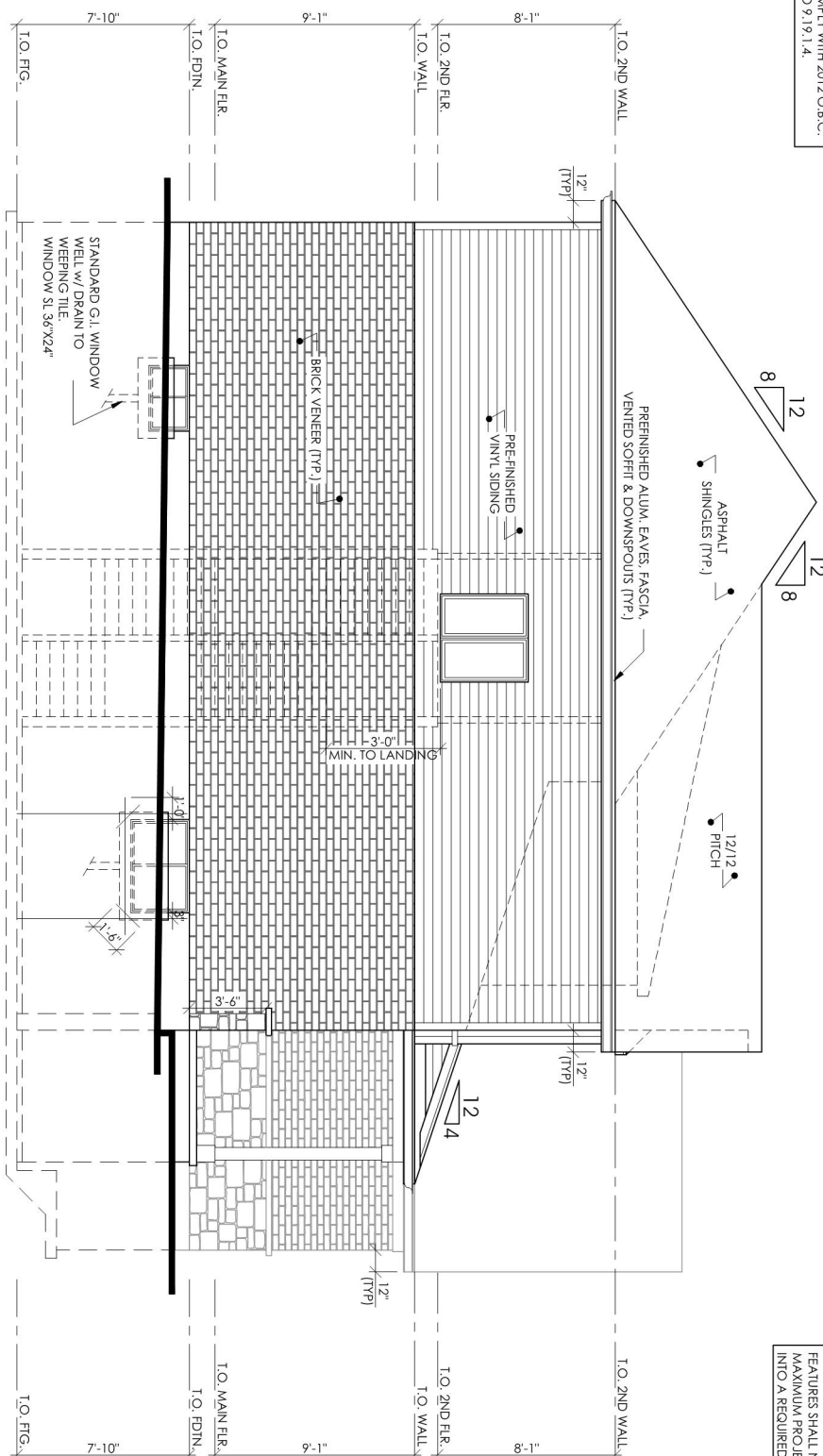
Project Location:
**LOT 123 OPTIMIST DRIVE
TALBOTVILLE, ONTARIO**
Drawing Title:
FRONT & REAR ELEVATIONS

Status: Tender & Approval
Designer: Scott Cassar
Scale: 3/16" = 1'-0"
Start Date: 11.22.21
Total Sq.ft.
2280 sq.ft. Above Grade
0 sq.ft. Below Grade

Drawing No.:
**1
OF
7**

NOTES:
ROOF AND ATTIC VENTILATION
MUST COMPLY WITH 2012 O.B.C.
9.19.1.1 TO 9.19.1.4.

PLA 2021-43 APPENDIX ONE: MV 2021-14 DRAWINGS



ZONING BY LAW Z-1
CANTILEVERS, EAVES, GUTTERS
AND SIMILAR NON-STRUCTURAL
FEATURES SHALL NOT EXCEED A
MAXIMUM PROJECTION OF 0.5m
INTO A REQUIRED YARD

ELEV.	GROSS WALL AREA (TYP)	GROSS R.S.O. AREA (TYP)
FRONT	765.9	97.8
REAR	766.4	143.3
LEFT	752.6	32.8
RIGHT	744.9	22.0
TOTAL	3033.8	295.9

NOTE:
ALL BEDROOM WINDOWS SHALL
PROVIDE AN UNOBSTRUCTED OPEN
PORTION W/ MIN. AREA OF 3.8 SQ. FT.
& HAVE NO DIMENSION LESS THAN 15".
MAX SILL HEIGHT OF 3'-3" FROM FLOOR
LEVEL AS PER O.B.C. 9.9.10.1

NOTE:
ALL WINDOW SIZES SHOWN ARE TO BE
DETERMINED BY WINDOW
MANUFACTURER R.S.O. SHEET.
ALL WINDOWS CONTAIN LOW E
GLAZING AND ARGON GAS FILL.
- WINDOWS, SLIDING GLASS DOORS TO
HAVE A MIN. ENERGY EFFICIENCY
RATING OF 25 / MAX U VALUE OF 1.6

NOTE:
MAINTAIN MIN. 4'0" FTG.
FROST COVERAGE

NOTE:
MAX. ANGLE OF REPOSE FOR
STEPPED FOOTING IS 45°

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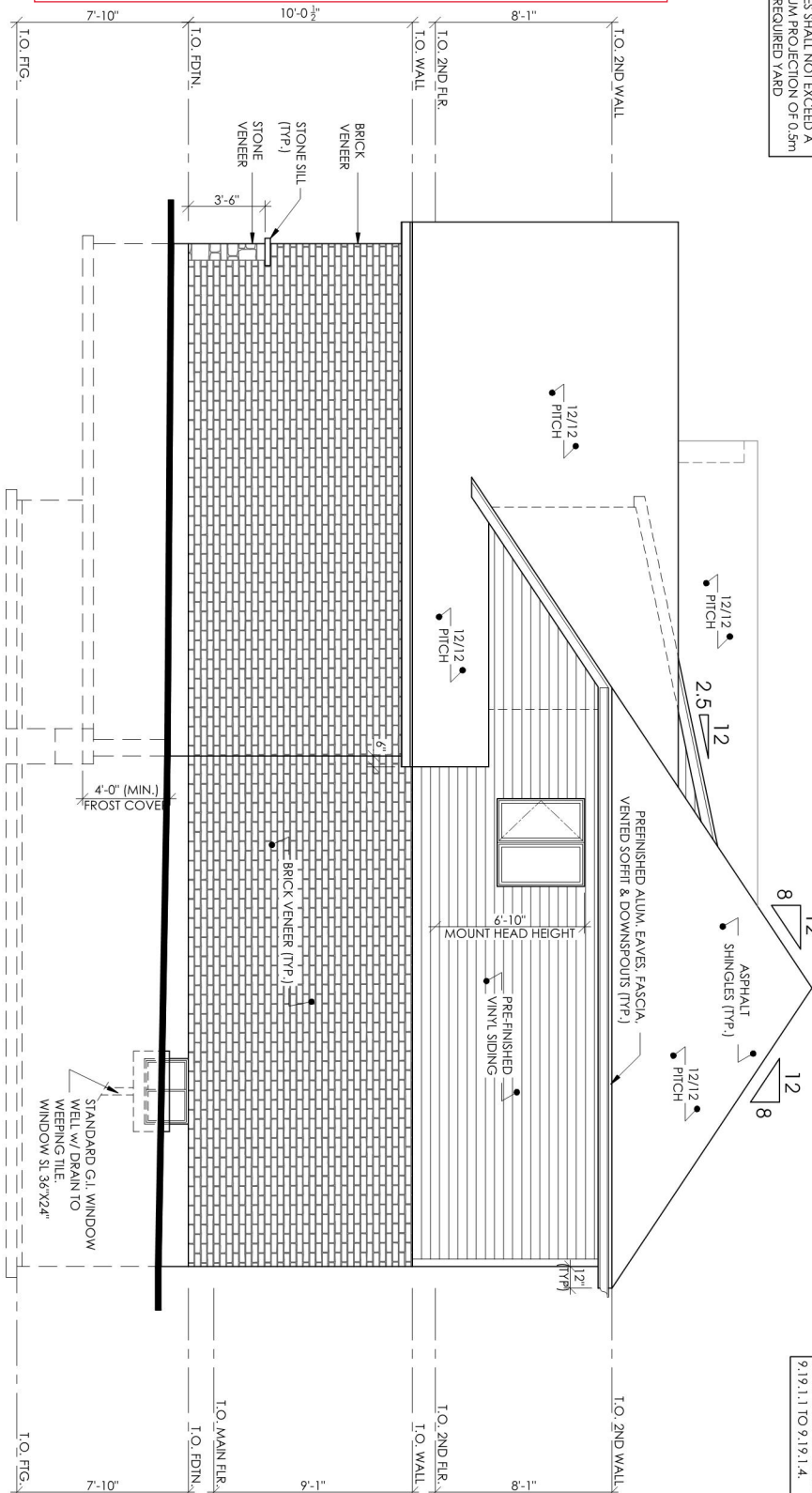
Project Location:
LOT 123 OPTIMIST DRIVE
TALBOTVILLE, ONTARIO
Drawing Title:
LEFT ELEVATION

Status: Tender & Approval
Designer: Scott Cassar
Scale: 3/16" = 1'-0"
Start Date: 11.22.21
Total Sq.ft.
2280 sq.ft. Above Grade
0 sq.ft. Below Grade

Drawing No.:
2
OF
7

PLA 2021-43
APPENDIX ONE: MV 2021-14 DRAWINGS

ZONING BY LAW Z-1
CANTILEVERS, EAVES, GUTTERS
AND SIMILAR NON-STRUCTURAL
FEATURES SHALL NOT EXCEED A
MAXIMUM PROJECTION OF 0.5m
INTO A REQUIRED YARD



NOTE:
ALL BEDROOM WINDOWS SHALL
PROVIDE AN UNOBSTRUCTED OPEN
PORTION W/ MIN. AREA OF 3.8 SQ. FT.
& HAVE NO DIMENSION LESS THAN 15".
MAX SILL HEIGHT OF 3'-3" FROM FLOOR
LEVEL AS PER O.B.C. 9.9.10.1

NOTE:
ALL WINDOW SIZES SHOWN ARE TO BE
DETERMINED BY WINDOW
MANUFACTURER R.S.O. SHEET.
ALL WINDOWS CONTAIN LOW E
GLAZING AND ARGON GAS FILL.
- WINDOWS, SLIDING GLASS DOORS TO
HAVE A MIN. ENERGY EFFICIENCY
RATING OF 25 / MAX U VALUE OF 1.6

NOTE:
MAINTAIN MIN. 4" FTG.
FROST COVERAGE

NOTE:
MAX. ANGLE OF REPOSE FOR
STEPPED FOOTING IS 45°

NOTES:
ROOF AND ATTIC VENTILATION
MUST COMPLY WITH 2012 O.B.C.
9.19.1.1 TO 9.19.1.4.

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Project Location:
LOT 123 OPTIMIST DRIVE
TALBOTVILLE, ONTARIO
Drawing Title:
RIGHT ELEVATION

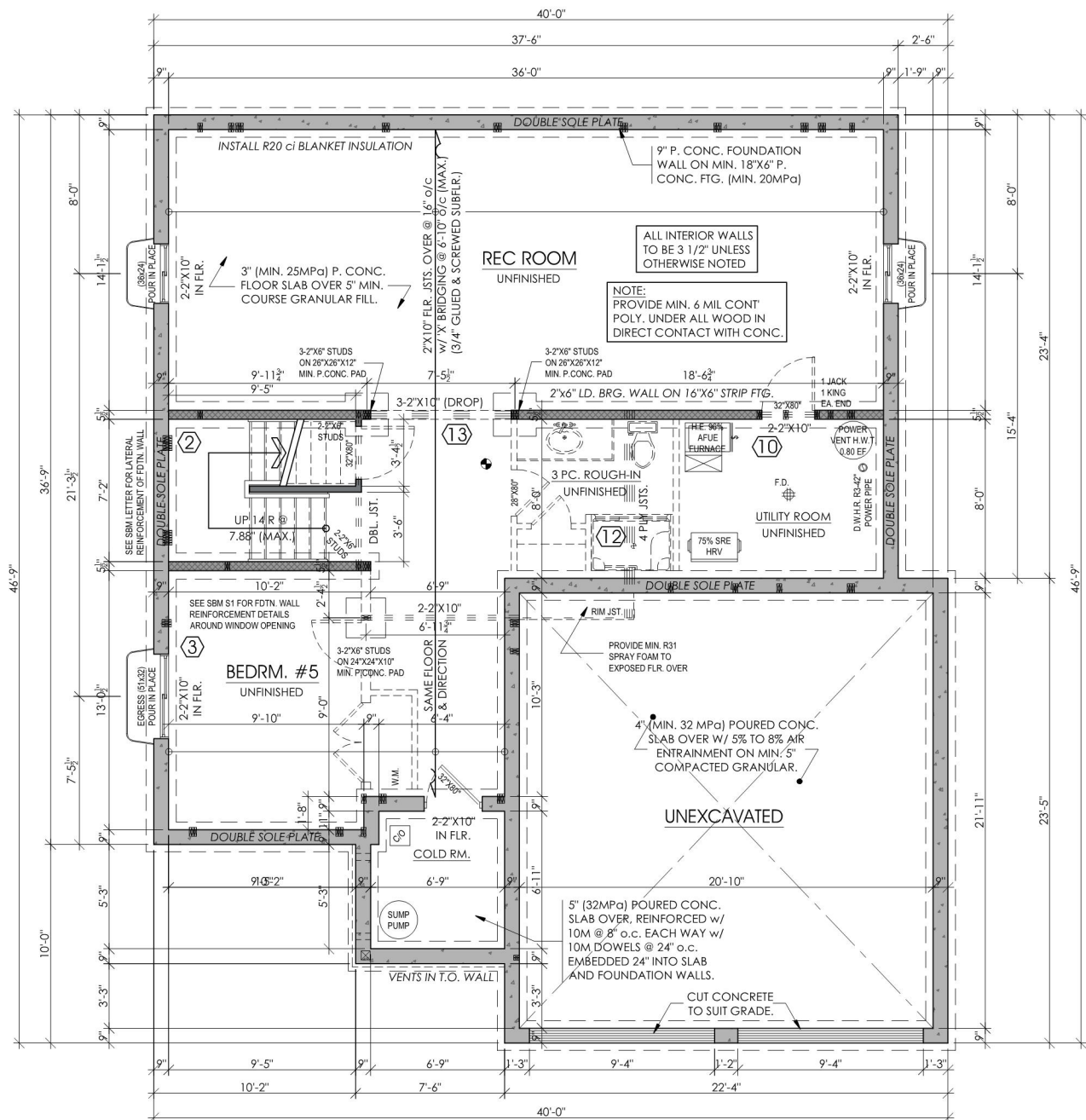
Status: Tender & Approval
Designer: Scott Cassar
Scale: 3/16" = 1'-0"
Start Date: 11.22.21
Total Sq.ft.
2280 sq.ft. Above Grade
0 sq.ft. Below Grade

Drawing No.:
3
OF
7

MECHANICAL NOTE:
-UNDERCUT ALL DOORS 3/4" TO ROOMS WITHOUT RETURN AIR.
-PROVIDE MIN 1 FORCED AIR SUPPLY OUTLET PER ROOM.
-PROVIDE MIN. R12 INSULATION BEHIND ALL RISERS IN EXTR WALLS.
WORK TO FLR. LEVEL TO PROVIDE

STUD BEARING TO MATCH
BEAM WIDTH OVER. UNLESS
OTHERWISE NOTED

PLA 2021-43
APPENDIX ONE: MV 2021-14 DRAWINGS



ELECTRICAL NOTE:
- ALL LIGHTING & ELECTRICAL TO COMPLY w/ OBC 9.34
- ALL SMOKE DETECTORS & CARBON MONOXIDE DETECTORS
SHALL BE INTERCONNECTED AND HARD WIRED THROUGHOUT

COMPLIANCE PACKAGE A1 - ZONE 1, AFUE > 92% TABLE 3.1.1.2.A.5 (I/P)			
CEILING WITH ATTIC SPACE	10.56 (R10)	EDGE OF BELOW GRADE SLAB, HEATED SLAB OR SLAB < 600mm BELOW GRADE	1.76 (R1)
CEILING WITHOUT ATTIC SPACE	10.56 (R31)	WINDOWS & SLIDING GLASS DOORS	1.76 (0.28)
EXPOSED FLOOR	5.46 (R33)	SKYLIGHTS	2.88 (0.49)
WALLS ABOVE GRADE	3.87 (R22)	SPACE HEATING EQUIPMENT (MIN. AFUE)	75%
BASEMENT WALLS	3.52 (R20)	HV / ERY (MINIMUM SIZE)	92%
BELOW GRADE SLAB > 600mm		DOMESTIC HOT WATER HEATER (MIN. EF)	0.80

2 STOREY, CEILING & ROOF NOTE:
ALL WD. LINTELS TO BE 2-2"x10"
WHERE OPENING IS LESS THAN 68"
& 2-2"x12" WHEN OPENING IS UP
TO 77" MAX. ALL LOSE STL. LINTELS
TO BE 3.5"x3.5"x1/4" U.N.O.

NOTE:
ALL STRUCTURE HAS BEEN CALCULATED
USING 'LIMIT STATES DESIGN' METHODOLOGY.
ENGINEERED LUMBER TO BE 2.0e w/ MIN. 2950FB
STEEL BEAMS TO BE 350 MPa & SOIL BEARING
PRESSURE TO BE 75 kPa OR GREATER





NOTE:
HOUSE TO BE BRICK AROUND
MAIN FLR. PROVIDE ANCHOR BOLTS
TO INSIDE OF FDTN. @ 7'-10" o.c.

NOTES:
INSTALL SEALED SUMP PUMP UNIT
OR SEAL COVER AS PER
9.25.3.3. (16) OF DIV. B PART 9 OBC.

CLEANOUT COVER TO BE SEALED w/
FLEXIBLE SEALANT OR WEATHER
STRIPPING. CAULK PERIMETER OF
FDTN. WALL TO FLOOR JOINTS & ALL
PIPE & POST PENETRATIONS. AS PER
9.25.3.1. (2) & 9.25.3.3. (15) OF OBC.

LOADBEARING PARTITIONS:
2"x4" OR 2"x6" STUDS @ 16" O.C.
(W/ GIRTS @ MID HEIGHT) ON
3.5" OR 5.5" X 3" POURED
CONCRETE CURB ON MIN. 16"x6"
P. CONC. FOOTING (TYP.)

SYMBOL LEGEND

-  DENOTES SOLID SUPPORT TO FOUNDATION
-  DENOTES INTERCONNECTED SMOKE DETECTOR & CARBON MONOXIDE DETECTOR c/w SYNCHRONIZED VISUAL SIGNAL COMPONENT
-  DENOTES EXHAUST FAN
-  DENOTES POINT LOAD FROM ABOVE
- SCL INDICATES STRUCTURAL COMPOSITE LUMBER
- LVL INDICATES 'LAMINATED' STRUCTURAL LUMBER



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Individual BCIN# 29025
Firm BCIN# 45807

Signed: 

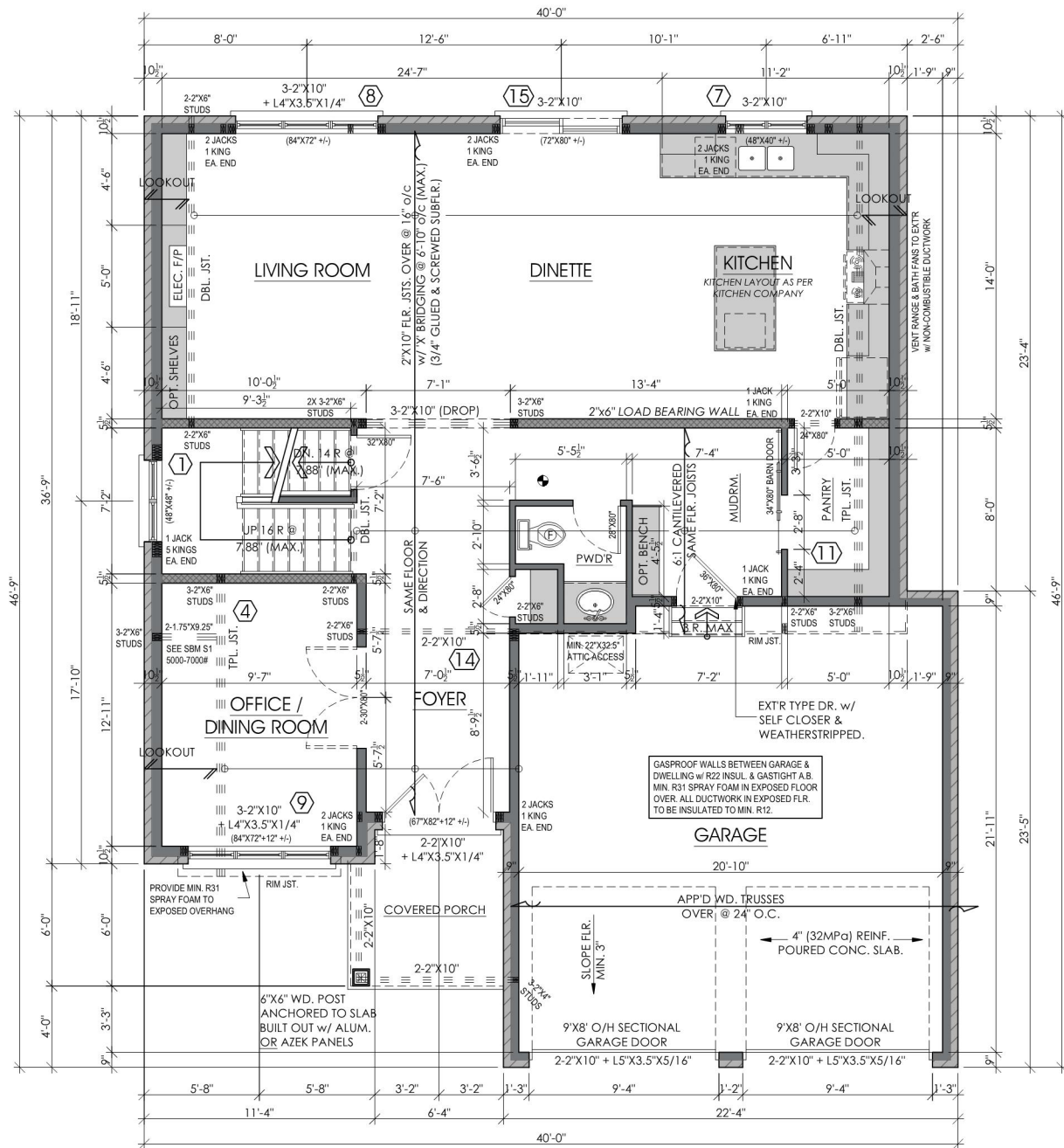


Project Location:
LOT 123 OPTIMIST DRIVE
TALBOTVILLE, ONTARIO

Drawing Title:
FOUNDATION / BASEMENT PLAN
UNFINISHED AREA

Status: Tender & Approval
Designer: Scott Cassar
Scale: 3/16" = 1'-0"
Start Date: 11.22.21
Total Sq.ft. 2280 sq.ft. Above Grade 0 sq.ft. Below Grade

Drawing No.:
4
OF
7



ELECTRICAL NOTE:
 - ALL LIGHTING & ELECTRICAL TO COMPLY w/ OBC 9.34
 - ALL SMOKE DETECTORS & CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED AND HARD WIRED THROUGHOUT

COMPLIANCE PACKAGE A1 - ZONE 1, AFUE ≥ 92% TABLE 3.1.1.2.A SI/IP			
CEILING WITH ATTIC SPACE (R60)	EDGE OF BELOW GRADE SLAB, HEATED SLAB (R10)	1.76	(R10)
CEILING WITHOUT ATTIC SPACE (R31)	WINDOWS & SLIDING GLASS DOORS (R31)	1.6	(0.28)
EXPOSED FLOOR (R31)	SKYLIGHTS (R31)	2.8	(0.49)
WALLS ABOVE GRADE (R20)	SPACE HEATING EQUIPMENT (MIN. AFUE)	96%	
BASEMENT WALLS (R20)	HRV / ERV (MINIMUM SRE)	75%	
BELOW GRADE SLAB ≥ 600mm	DOMESTIC HOT WATER HEATER (MIN. EF)	0.80	

1 STOREY, CEILING & ROOF NOTE:
 ALL WD. LINTELS TO BE 2-2"x10" WHERE OPENING IS LESS THAN 74" & 2-2"x12" WHEN OPENING IS UP TO 84" MAX. ALL LOSE STL. LINTELS TO BE 3.5"x3.5"x1/4" U.N.O.

NOTE:
 ALL STRUCTURE HAS BEEN CALCULATED USING 'LIMIT STATES DESIGN' METHODOLOGY. ENGINEERED LUMBER TO BE 2.0e w/ MIN. 2950FB STEEL BEAMS TO BE 350 MPa & SOIL BEARING PRESSURE TO BE 75 kPa OR GREATER

ALL INTERIOR WALLS TO BE 3 1/2" UNLESS OTHERWISE NOTED

WHERE CERAMIC FLOORING IS TO BE INSTALLED, REINFORCE SUBFLOOR AS PER 9.30.6.3 OF O.B.C.

CANTILEVERED FLOOR JOISTS OVER BRICK MIN. 24" BACK TO D.J. (TYP.)

STUD BEARING TO MATCH BEAM WIDTH OVER, UNLESS OTHERWISE NOTED

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES & O.B.C.

SYMBOL LEGEND

- ☒ DENOTES SOLID SUPPORT TO FOUNDATION
- ☒ DENOTES INTERCONNECTED SMOKE DETECTOR & CARBON MONOXIDE DETECTOR C/W SYNCHRONIZED VISUAL SIGNAL COMPONENT
- ☒ DENOTES EXHAUST FAN
- ✕ DENOTES POINT LOAD FROM ABOVE
- SCL INDICATES STRUCTURAL COMPOSITE LUMBER
- LVL INDICATES LAMINATED STRUCTURAL LUMBER

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 Firm BCIN# 45807
 Signed: *Scott Cassar*

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Project Location:
LOT 123 OPTIMIST DRIVE
 TALBOTVILLE, ONTARIO
 Drawing Title:
MAIN FLOOR PLAN
 1132 SQ.FT.

Status: Tender & Approval
 Designer: Scott Cassar
 Scale: 3/16" = 1'-0"
 Start Date: 11.22.21
 Total Sq.ft.
 2280 sq.ft. Above Grade
 0 sq.ft. Below Grade

Drawing No.:
5
 OF
7

FOR TENDER ONLY, NOT FOR CONSTRUCTION - NOV. 22, 2021

GENERAL NOTES

- SOME SECTIONS/CLAUSES HAVE NOT BEEN INCLUDED IN THESE FOLLOWING AREAS. REFER TO PART 9 OF THE O.B.C. (2012) FOR A COMPLETE DESCRIPTION OF THE ITEMS MENTIONED BELOW. THE CONSTRUCTION OF THIS HOME IS TO COMPLY WITH THE MINIMUM REQUIREMENTS SET OUT IN PARTS 1, 7, 9 & 12 OF THE O.B.C. (2012) AS WELL AS THE SUPPLEMENTARY STANDARDS 1-12, UNLESS NOTED OTHERWISE. -

SECTION 1 - FOOTINGS AND FOUNDATION

- CONCRETE FOOTING & FOUNDATION WALLS NOT SUBJECT TO SURCHARGE, SHALL BEAR ON UNDISTURBED SOIL, ROCK OR COMPACT GRANULAR FILL WITH AN ALLOWABLE BEARING PRESSURE OF 75 kPa OR GREATER. (9.15.1.1. & 9.15.3.2.)
- STAIRS TO FINISHED BASEMENT TO BE ENCLOSED BY WALLS OR GUARDS. (9.8.8)
- STAIRS TO AN UNFINISHED BASEMENT ARE NOT PERMITTED TO HAVE AN UNPROTECTED SIDE. (9.8.8)
- PROVIDE MIN. 18"x6" FOOTINGS FOR ALL TWO STOREY BRICK/SIDING WALLS. (9.15.3)
- PROVIDE MIN. 20"x6" FOOTINGS FOR ALL TWO STOREY BRICK WALLS. (9.15.3)
- PROVIDE MIN. 26"x8.5" FOOTINGS FOR ALL THREE STOREY MASONRY VENEER WALLS. (9.15.3)
- PROVIDE MIN. 8"x4" FOOTING FOR ALL INTERIOR WALLS SUPPORTING NOT MORE THAN ONE FLOOR & 14"x6" FOOTING FOR ALL INTERIOR WALLS SUPPORTING TWO FLOORS. (9.15.3.4)
- STEPPED FOOTINGS ON FIRM SOIL SHALL NOT EXCEED A VERTICAL RISE OF 23 5/8" & A MIN. HORIZ. OF 24" (9.15.3.9)
- DUE TO LACK OF LATERAL SUPPORT, OPENINGS IN FOUNDATION WALLS MAY NOT EXCEED 3'-11" (MAX.) OR 25% OF THE LENGTH OF THE WALL, WITHOUT REINFORCING TO WITHSTAND THE EARTH PRESSURE. (9.15.4.3.(3))
- PROVIDE 1/2" ANCHOR BOLTS @ 7'-10" o/c (MAX.) EMBEDDED 4" (MIN.) INTO FOUNDATION WALLS FOR SILL PLATE ATTACHMENT. (9.23.6.1)
- SUPPORT OF NON-LOADBEARING PARTITIONS TO COMPLY WITH SUBSECTION (9.23.9.8)
- PROVIDE MIN. 0.05mm POLY UNDER ALL WOOD IN CONTACT WITH CONCRETE. (9.23.2.3)

SECTION 2 - FLOOR PLANS

- PROVIDE FOAM GASKET OR CAULKING UNDER ALL UPPER FLOOR WALL PLATES.
- ALL BEAMS & GIRDERS TO BE SUPPORTED FULL WIDTH TO FOUNDATION.
- DOORS & WINDOWS TO COMPLY WITH RESISTANCE TO FORCED ENTRY REQUIREMENTS. (9.7.5.2. & 9.7.5.3.)
- PROVIDE SOLID BLOCKING ON BOTH SIDES AT THE LOCK HEIGHT BETWEEN THE JAMBS & FRAME FOR ALL EXTR DOORS (9.7.5.2. (9))
- FOR ALL HOUSES WITH 2"x6" EXTERIOR WALL CONSTRUCTION, EXTEND WINDOW & DOOR JAMBS TO SUIT.
- FLOOR LEVELS CONTAINING BEDROOMS TO HAVE ONE OPENING WINDOW WITH AN UNOBSTRUCTED AREA OF 3.8 SQ.FT. (MIN.) WITH NO DIMENSION LESS THAN 15" & 3'-3" (MAX.) FROM FLOOR LEVEL (9.9.10.1.)
- STAIRS: UNIFORM RISE / RUN
RISE = 7 7/8" MAX.
RUN = 8 1/4" MIN.
TREAD = 9 1/4" MIN.
NOSING = 1" MAX.
HEADROOM = 6'-5" MIN.
WIDTH = 2'-10" MIN.
HANDRAILS = 34" MIN. TO 38" MAX.
- GUARDS TO BE:
INTERIOR - MIN. 36" HEIGHT
4" MAX. OPENINGS - NON-CLIMBABLE
EXTERIOR GUARDS TO BE 36" (MIN.) WERE THE WALKING SURFACE OF PORCHES, DECKS, LANDINGS & BALCONIES ARE LESS THAN 5'-11" OR
42" (MIN.) FOR ANYTHING EXCEEDING 5'-11" ABOVE FINISHED GRADE (9.8.8.3 (3))
- MAX TOLERANCES FOR RISERS, RUN AND TREAD DEPTH IN ANY ONE FLIGHT. (9.8.4.4.)
3/16" BETWEEN ADJACENT TREADS OR LANDINGS
13/32" BETWEEN THE TALLEST AND SHORTEST RISERS IN A FLIGHT
3/16" BETWEEN ADJACENT TREADS
13/32" BETWEEN THE DEEPEST AND SHALLOWEST RUNS AND TREADS

- ALL CHIMNEYS & FIREPLACES TO CONFORM TO (9.21 & 9.22.)
- ATTIC ACCESS SHALL BE PROVIDED TO ALL ATTIC AND ROOF SPACES 108 sq.ft. IN AREA, 3'-3" IN LENGTH & 23 5/8" IN HEIGHT (9.19.2.1)
- ALL ATTIC ACCESS PANELS TO BE INSULATED & WEATHERSTRIPPED. (9.25.3.(13))
- PROVIDE R-31 INSULATION IN EXPOSED CEILING WHERE LIVING AREA OCCURS ABOVE. (9.25.2.1) & SB-12
- WALLS SEPARATING ATTACHED GARAGES FROM LIVING SPACE SHALL BE ASSEMBLED WITH AN AIR BARRIER SYSTEM CONFORMING TO SUBSECTION (9.25.3) TO PROVIDE AN EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES.
- ALL INTERIOR WALL/CEILING FINISHES TO CONFORM TO SUBSECTION (9.29).
- PROVIDE ELECTRICAL AND LIGHTING FACILITIES AS PER (9.34)

SECTION 3 - ELEVATIONS

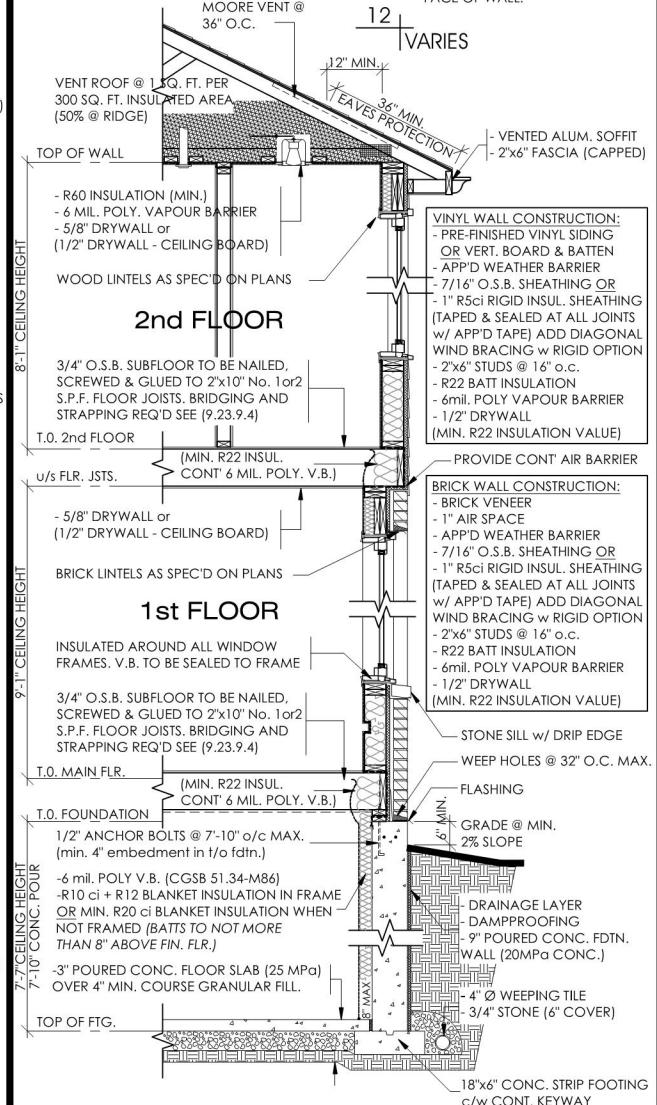
- BRICK TIES AS PER (9.20.9.5.)
- MASONRY VENEER THAT IS 3 1/2" THICK SHALL NOT PROJECT MORE THAN 1" FROM SUPPORTING BASE & 1/2" FROM SUPPORTING BASE WHERE THE MASONRY VENEER IS LESS THAN 3 1/2" THICK. (9.20.12.3)
- PROVIDE WEEP HOLES IN BRICK AT 31" (MAX.) O.C. & IN ACCORDANCE TO (9.20.13.8)
- ALL EXTERIOR CLADDING TO CONFORM TO SUBSECTION (9.27).
- ALL ROOFING MAT'L AND TYPES TO CONFORM TO SUBSECTION (9.26.)
- MASONRY FLASHING TO CONFORM TO SUBSECTION (9.20.13)
- ROOF FLASHING TO CONFORM TO SUBSECTION (9.26.4)
- ALL AIR BARRIERS TO BE CONTINUOUS & SEALED IN ACCORDANCE WITH 9.25.3
- ALL VAPOUR BARRIERS TO BE 6-MIL POLYETHYLENE (CGSB 51.34-M) & INSTALLED PER (9.25.4)

PLA 2021-43

APPENDIX ONE: MV 2021-14 DRAWINGS

ROOF CONSTRUCTION:
-25-30 YRS. ASPHALT SHINGLES
-7/16" O.S.B. SHEATHING c/w 'H' CLIPS
-APP'D. WOOD TRUSSES @ 24" O.C.

EAVES PROTECTION NOTE:
TYPE S OR M ROLLED ROOFING LAPPED AND CEMENTED 4" MIN.
3'-0" MIN. UP ROOF SLOPE BUT NOT LESS THAN 12" MIN. FROM INSIDE FACE OF WALL.



2 STOREY TYPICAL SECTION

SCALE: 3/8"=1'-0"

NOTE:
REFER TO WALL, FLOOR & ROOF DETAIL PAGE GD1 FOR ALL OTHER TYPES OF CONSTRUCTION ASSEMBLY DETAILS APPLICABLE.

NOTE:
TYVEK HOME WRAP TO BE USED AS A CONTINUOUS EXTERIOR AIR BARRIER SYSTEM AND SHALL BE INSTALLED AS PER CCMC 12857-R REPORT

VAPOUR BARRIER NOTE:
- DENOTES V.B.
- DENOTES SEAL
SEAL WALL V.B. @ ALL TOP PLATES, ELECTRICAL BOXES, PLUMBING AND MECHANICAL SHAFT LOCATIONS. PROVIDE CONTINUOUS V.B. AT INTERIOR WALL INTERSECTIONS. LAP JOINTS 4" AND SEAL.

NOTE:
THE INTERIOR VAPOUR BARRIER IS ALSO THE AIR BARRIER. SEE SHEETS AV1 AND AV2 FOR DETAILS.

GENERAL NOTES:
ALL DRAWINGS TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES AND SPECIFICATION SHEET ATTACHED WITH BUILDING SECTIONS, FOR CONSTRUCTION COMPLIANCE WITH THE ONTARIO BUILDING CODE (2012) PARTS 1, 7, 9 & 12 + AMENDMENTS & SUPPLEMENTARY STANDARDS - MECHANICAL VENTILATION MUST CONFORM TO SUBSECTION 9.32.3. & PART 6 OF THE O.B.C. (2012).

BUILDING CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE PROCEEDING. DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE DIMENSIONS. ONLY THE LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION PURPOSES. DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER BEFORE PROCEEDING WITH ANY CONSTRUCTION WORK. DIMENSIONS MAY VARY SLIGHTLY DURING CONSTRUCTION.

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Signed: *Scott Cassar*

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Project Location:
LOT 123 OPTIMIST DRIVE
TALBOTVILLE, ONTARIO

Drawing Title:
GENERAL NOTES / SECTION

Status: Tender & Approval
Designer: Scott Cassar
Scale: 3/16" = 1'-0"
Start Date: 11.22.21
Total Sq.ft.
2280 sq.ft. Above Grade
0 sq.ft. Below Grade

Drawing No.:
7
OF
7

Chairperson Jones reported that the last day for appealing this decision is January 3rd, 2022. If you wish to be notified of the decision of the Committee in respect of this application, you must submit a written request to the Township of Southwold Committee of Adjustment. If you are not the applicant, you should request a copy of the decision since it may be appealed to the Ontario Land Tribunal (formerly Local Planning Appeal Tribunal) by the applicant or another member of the public.

C of A 2021- 43 MOVED BY: Member Monteith
SECONDED BY: Member Pennings

THAT the meeting of the Committee of Adjustment to hear applications MV 2021-12, filed by P. Murphy C/O J. Van Dyk, MV 2021-13, filed by K. and T. Moore, MV 2021-14, filed by 8735506 Canada Ltd o/a Vara Homes C/O Vince Varallo at **8:41 p.m.** and the regular meeting of council reconvene.

CARRIED

Chairperson

Secretary-Treasurer



TOWNSHIP OF SOUTHWOLD

Report to Committee of Adjustment

MEETING DATE: January 24, 2022

PREPARED BY: Bryan Pearce, HBA, CPT, MCIP, RPP, Planner

REPORT NO: PLA 2022-02

**SUBJECT MATTER: Minor Variance Application MV 2022-01 –
Recommendation Report**

Recommendation(s):

THAT Committee of Adjustment of the Township of Southwold receive Report PLA 2022-02 regarding Minor Variance Application MV 2022-01 – Recommendation Report;

AND THAT Committee of Adjustment of the Township of Southwold approve the proposed Minor Variance Application MV 2022-01, to obtain relief from Section 8.2(e) Regulations of the Residential 1 (R1) Zone to permit the construction of a 182.6 square metre footprint area, two-storey single detached dwelling with a reduced exterior side yard setback from the required 6.0 metres (19.7 feet) to the proposed 4.0 metres (13.1 feet), subject to the following conditions:

1. That the proposed development is substantially in accordance with the Minor Variance MV 2022-01 drawings, as appended to Report PLA 2022-02.

Purpose:

The proposal is to seek relief from Section 8.2(e) Regulations of the Residential 1 (R1) Zone to permit the construction of a single detached dwelling on the subject lands.

Background:

Below is a background information from the application, in a summary chart:

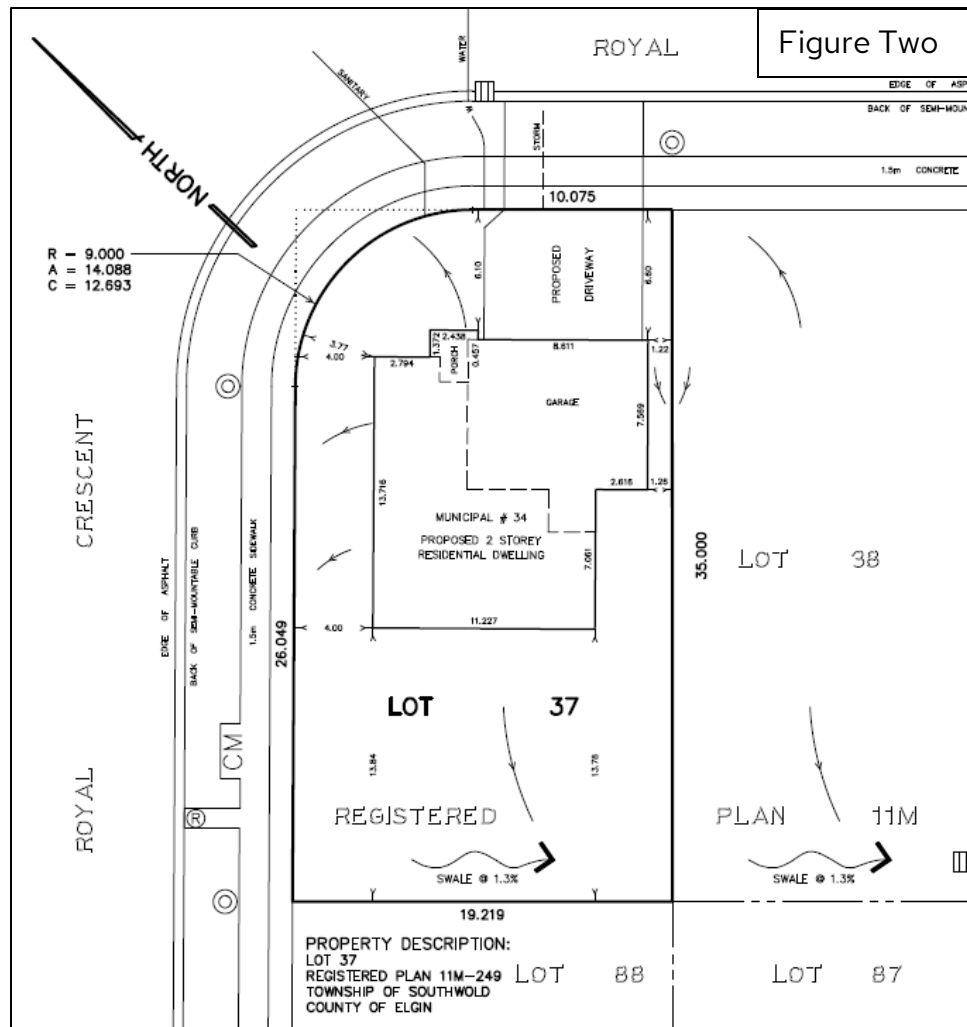
Application	MV 2022-01
Owner/Applicant	Don West Construction Limited (c/o Lyndsay Sibley)
Legal Description	Lot 37, Plan 11M-249
Civic Address	49 Royal Crescent

Entrance Access	Royal Crescent
Water Supply	Township water supply
Sewage Supply	Municipal Sewer System
Use of Property	Existing: vacant residential Proposed: residential
Buildings	Existing: none Proposed: single detached dwelling
Existing Land Area	652 square metres (0.16 acres)
Official Plan Land Use Designation	Residential
Zoning Category	Residential 1 (R1) (Schedule A, Map 12)

Figure One below, depicts the existing parcel of the Don West Construction Lands.



Figure Two below is an excerpt of the lot grading plan drawing submitted:



Comments/Analysis:

Planning Policy Review:

Provincial Policy Statement

Under Section 3(5) of the *Planning Act*, the Township "shall be consistent with" matters of provincial interest as set out in the Provincial Policy Statements (PPS).

Section 1.1.3 of the PPS states that settlement areas shall be the focus of growth and development.

This proposed Minor Variance is consistent with the PPS.

County of Elgin Official Plan

The subject lands are designated Tier 2 Settlement Area as shown on Schedule 'A' Land Use in the County of Elgin Official Plan (CEOP). In the Tier 2 Settlement Area designation, residential use such as a single detached dwelling use is permitted.

Therefore, this proposed Minor Variance conforms to the CEOP.

Four Tests Of The Minor Variance:

Section 45(1) of the *Planning Act* gives the authority of granting minor relief from the provisions of the Zoning By-law to the Committee of Adjustment. Such relief can only be granted if the Minor Variance passes four tests. If the Committee is not satisfied on all four tests, then the Minor Variance cannot be approved.

1. Does the variance maintain the intent and purpose of the Township of Southwold Official Plan?

Yes. The subject lands are designated Residential on Schedule 'A-1' Talbotville Settlement Area of the Township of Southwold Official Plan. A single detached dwelling is permitted in the 'Residential' designation. The proposed reduced minimum exterior side yard does not contravene the Official Plan policies; and also in the adopted Official Plan 2021.

2. Does the variance maintain the intent and purpose of the Township of Southwold Zoning By-law?

Yes. The subject lands are zoned Residential 1 (R1) Zone in the Township of Southwold Zoning By-law 2011-14, Schedule 'A', Map 12. A single detached dwelling is a permitted use in the Residential 1 (R1) Zone. With the exception of the proposed reduced minimum side yard, the application complies with all remaining zoning provisions. The proposed dwelling would impact the exterior side yard setback for the whole side face of the dwelling, but still maintains adequate side yard for site visibility on the corner lots of Royal Crescent, as per Section 3.44 of the Zoning By-law, being a 6 metre by 6 metre triangle for a Township Road intersection.

3. Is the variance requested desirable for the appropriate and orderly development and use of the lands and buildings?

Yes. The variance will enable the owner to construct a single detached dwelling with a reduced minimum exterior side yard. Due to the proposed size of the dwelling, it is unable to meet the exterior side yard requirement. At the time of the issuance of the building permit, the owner will need to demonstrate that the lot grading and lot drainage for the lands will not be compromised as a result of the reduced exterior side yard and comply with the subdivision agreement. The variance will not impede the function of the exterior side yard and still provides for special separation from the street.

4. *Is the variance minor in nature?*

Yes. The meaning of 'minor' is not based on a specific number, where a difference of a number of feet determines whether or not the development is acceptable. It is more appropriate to base this test on the degree of potential impact on neighbouring property owners; the environment; and the municipal, County, or provincial functions.

The impact from the proposed variance is negligible with respect to the environment, Township functions and surrounding property owners.

Circulation Of The Application:

The application was circulated to the applicable Township Departments, Commenting Agencies, neighboring property owners within 60 metres of the subject lands, and to those that expressed interest in the application through the public hearing on January 12, 2022, 12 days prior to the public hearing (minimum 10 days required).

Additional information related to the application is available on the website:

<https://www.southwold.ca/en/business-and-development/current-planning-applications.aspx#MV-2022-01-49-Royal-Crescent>

Township Department Comments

Comments received from the Township Department's are summarized below:

- Infrastructure Department:
 - No concerns, as long as the proposal complies with the approved subdivision grading plan.
- Drainage Department:
 - No concerns.
- Financial Services Department:
 - No comments.

No additional comments were received.

Agency Comments

Comments received from applicable commenting agencies at time of writing of this report, as summarized below:

- County of Elgin
 - doesn't have any objection to the subject minor variance application.

No additional comments were received.

Public Comments

At the time of submission of this report, no written comments from the public have been received related to the Minor Variance.

Financial Implications:

None. Application fees were collected in accordance with the Township's Tariff of Fees By-law, as amended time to time.

Strategic Plan Goals:

The above recommendation helps the Township meet the Strategic Plan Goal of:

- ☒ Promoting residential, agricultural, commercial, and industrial development by ensuring policies and services are in place to support growth in The Township of Southwold.
- ☐ Promoting a healthy, naturally beautiful, and community-oriented municipality by encouraging and supporting involvement of volunteer organizations wishing to provide cultural and recreational activities in the Township of Southwold.
- ☐ Providing improved transportation and a strong commitment to asset management with a goal of maintaining the Township's infrastructure in the promotion of public safety
- ☐ Exercising good financial stewardship in the management of Township expenditures and revenues.

☒ Promoting public engagement, transparent government, and strong communications with all members of the community across various mediums for the strengthening of civic participation.

Summary/Conclusion:

The application has been assessed for appropriateness with regard to existing policy and the impact of the proposal on the surrounding land uses. The application maintains the intent and purpose of the Official Plan and Zoning By-law, desirable for the appropriate and orderly development and use of the lands and buildings and is minor in nature; and therefore the minor variance application satisfies the four tests pursuant to Section 45(1) of the *Planning Act*, and constitutes good land use planning.

Planning Staff recommends that the request for Minor Variance be conditionally approved, subject to no concerns being raised through any oral and written submissions being received since the writing of this report and at the public hearing.

Once a Committee of Adjustment decision is made, Notice will be sent to those who have requested a copy and/or attended the public hearing.

There will be a 20 day appeal period from the Decision in which the Notice will be sent out within 10 days of the Decision. Any appeals received by the Township of Southwold will be forwarded to the Ontario Land Tribunal (formerly Local Planning Appeal Tribunal) for a hearing, in accordance with the *Planning Act*.

Respectfully submitted by:
Bryan Pearce, HBA, CPT, MCIP, RPP
Planner

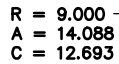
Approved for submission by:
Lisa Higgs
CAO/Clerk

Appendices:

1. Appendix One: Minor Variance Application MV 2022-01 Drawings




SKETCH
PREPARED FOR MINOR VARIANCE APPLICATION
FOR: DON WEST CUSTOM HOMES
TALBOTVILLE MEADOWS PHASE 1
KNOWN MUNICIPALLY AS # 34 ROYAL CRESCENT

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048



THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT
BE USED FOR TRANSACTION OR FINANCING PURPOSES

NOTES

- AREA OF LOT 37 = 652.1 SQUARE METRES
- AREA OF DWELLING, GARAGE COVERED PORCH AND COVERED DECK = 182.6 SQUARE METRES
- PROPOSED LOT COVERAGE = 28.0%
-  DENOTES PROPOSED DRAINAGE DIRECTION
-  DENOTES STREET LIGHT
-  DENOTES CATCH BASIN

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KIM HUSTED SURVEYING LTD.
ONTARIO LAND SURVEYOR
30 HARVEY STREET, TILSONBURG, ONTARIO, N4G 3J8
PHONE: 519-842-3638 FAX: 519-842-3639

PROJECT: 21-17419

REFERENCE: FILE

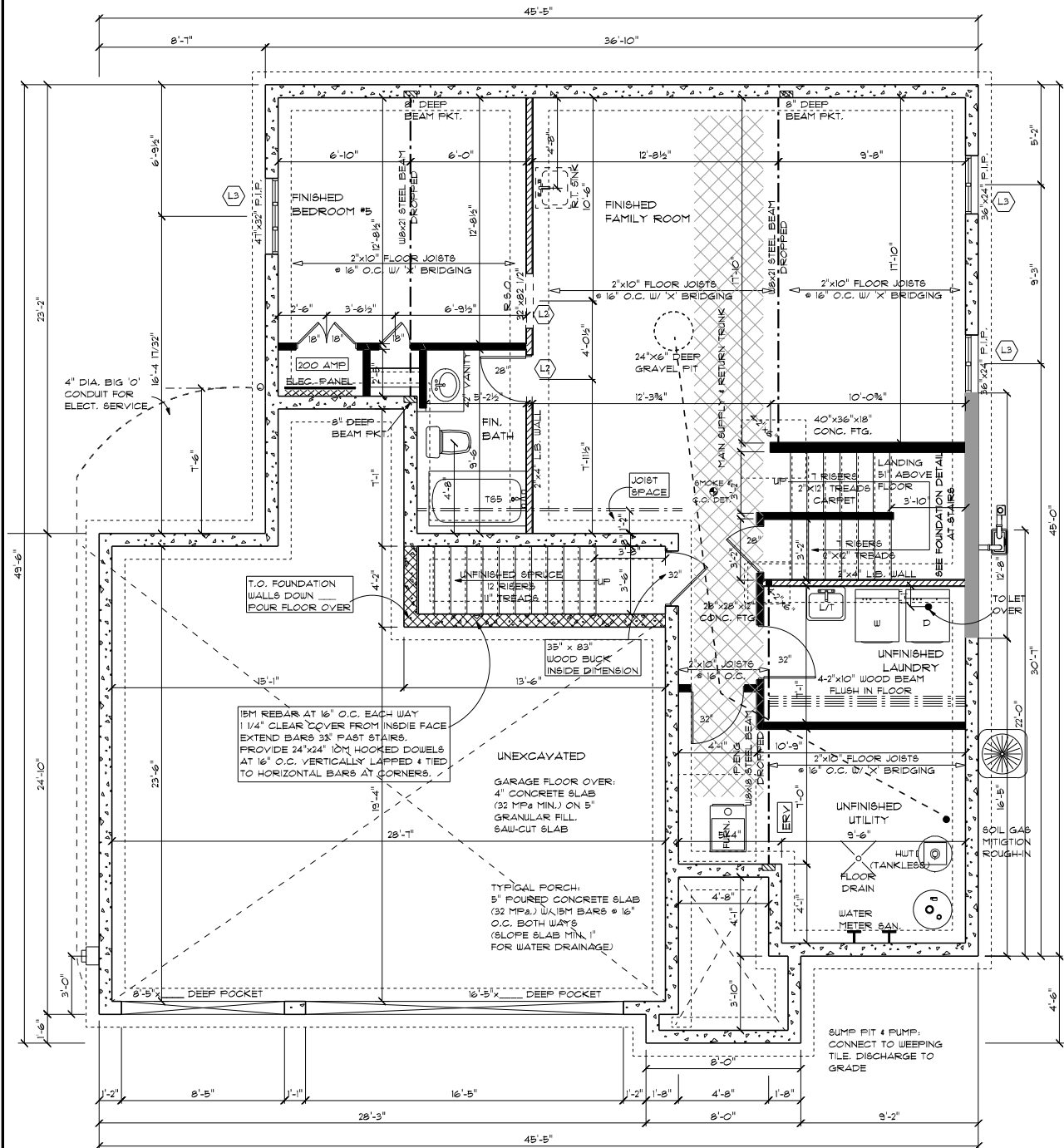
PLA 2022-02 APPENDIX ONE:
MV 2022-01 DRAWINGS

TYPICAL BASEMENT FLOOR:
3" FOUNDED CONCRETE SLAB
(25 MPa MIN.) ON 5" MIN.
CRUSHED STONE

TYPICAL LOAD BEARING PART:
2"x4" WOOD STUDS @ 16" O.C.
W/ BLOCKING MID-HEIGHT.
MECHANICALLY FASTENED TO
CONCRETE SLAB. ON 18"x6"
CONCRETE FOOTING.

TYPICAL STRAPPING:
1" EXTRUDED POLYSTYRENE (GLADIMATE)
AIR SPACE
2"x4" STUDS @ 24" O.C.
R14 ROXUL BATT INSULATION
6 MIL POLY VAPOUR BARRIER

NOTE:
LOCATION OF
UTILITIES ARE
APPROXIMATE.
EXACT LOCATIONS
TO BE DETERMINED
BY SITE CONDITIONS



FOUNDATION PLAN
193 SQ. FT. FINISHED

THESE PLANS HAVE BEEN REVIEWED AND APPROVED FOR CONSTRUCTION. CUSTOMER SIGNATURE: _____ DATE: _____

LOT #37 (MUN. #49) ROYAL CRESCENT

TALBOTVILLE MEADOWS PH. 1

ALL DIMENSIONS & SIZE DESIGNATIONS
MUST BE JOB SITE CHECKED BY
CONTRACTOR OR SUBTRADE & VERIFIED.
ERRORS MUST BE REPORTED BEFORE
COMMENCING WORK.

ALL CONSTRUCTION MUST CONFORM
TO THE LATEST EDITION OF THE
"ONTARIO BUILDING CODE" AS WELL
AS ANY LOCAL CODES OR
REGULATIONS.

**Kara Taylor
&
Dave Matthews**

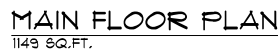


SCALE: 3/16" = 1'-0"	DATE: December 3, 2021
DRAWN BY: LYNDSAY SIBLEY	ISSUED FOR: CONSTRUCTION
INDIVIDUAL BCIN: 30391	2210 SQ. FT. + 193 SQ. FT.

SHEET

A-1

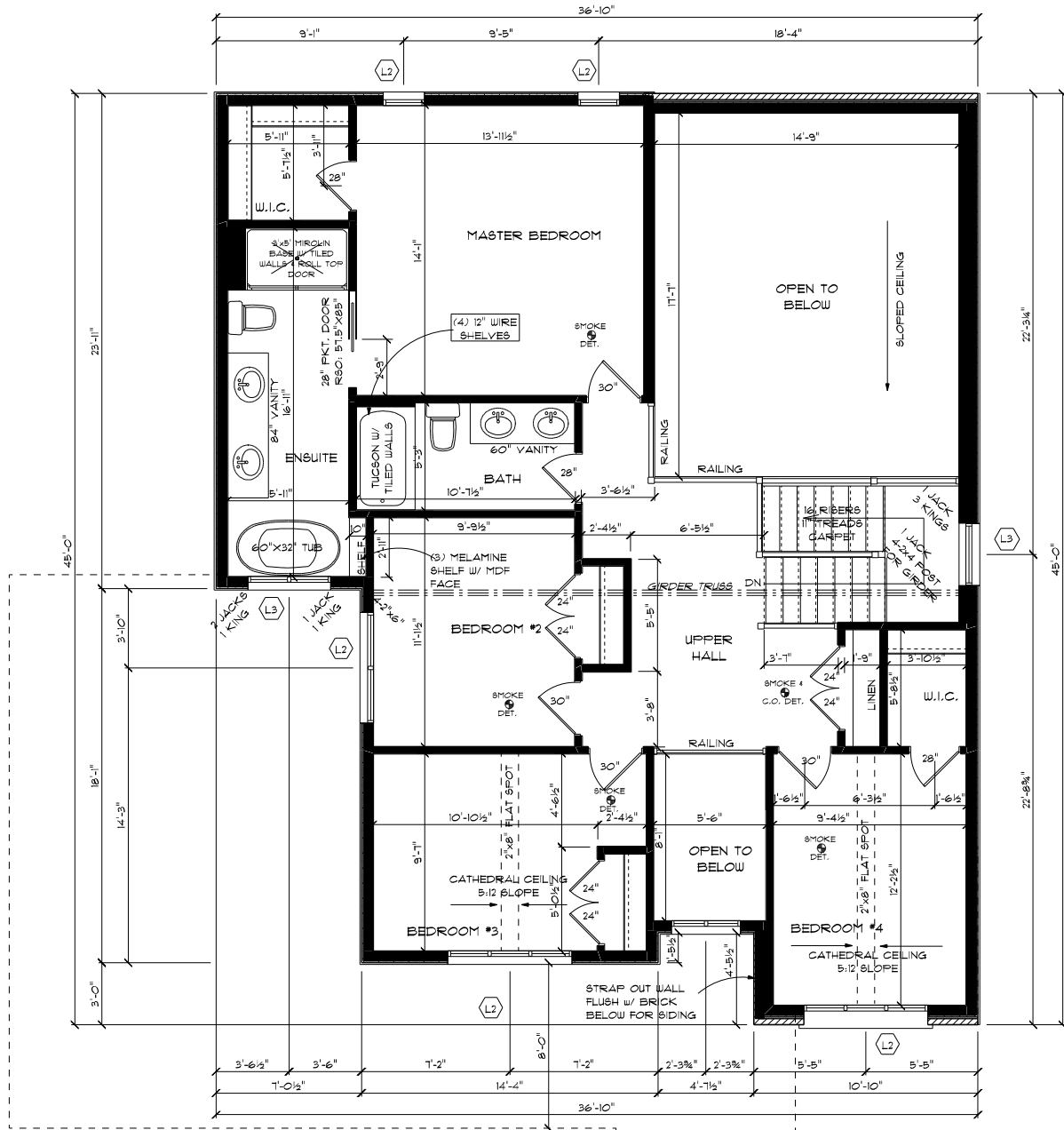
THESE PLANS HAVE BEEN REVIEWED AND APPROVED FOR CONSTRUCTION: CUSTOMER SIGNATURE: _____ DATE: _____



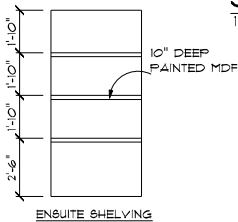
TALBOTVILLE MEADOWS PH. 1

A-2

ALL CONSTRUCTION MUST CONFORM TO THE LATEST EDITION OF THE "ONTARIO BUILDING CODE" AS WELL AS ANY LOCAL CODES OR REGULATIONS.



SECOND FLOOR PLAN
1121 SQ.FT.



THESE PLANS HAVE BEEN REVIEWED AND APPROVED FOR CONSTRUCTION. CUSTOMER SIGNATURE: _____ DATE: _____

LOT #37 (MUN. #49) ROYAL CRESCENT

TALBOTVILLE MEADOWS PH. 1

ALL DIMENSIONS & SIZE DESIGNATIONS MUST BE JOB SITE CHECKED BY CONTRACTOR OR SUBTRADE & VERIFIED. ERRORS MUST BE REPORTED BEFORE COMMENCING WORK.

ALL CONSTRUCTION MUST CONFORM TO THE LATEST EDITION OF THE "ONTARIO BUILDING CODE" AS WELL AS ANY LOCAL CODES OR REGULATIONS.

**Kara Taylor
&
Dave Matthews**



SCALE:

3/16" = 1'-0"

DATE:

December 3, 2021

DRAWN BY:

LYNDSAY SIBLEY

ISSUED FOR:

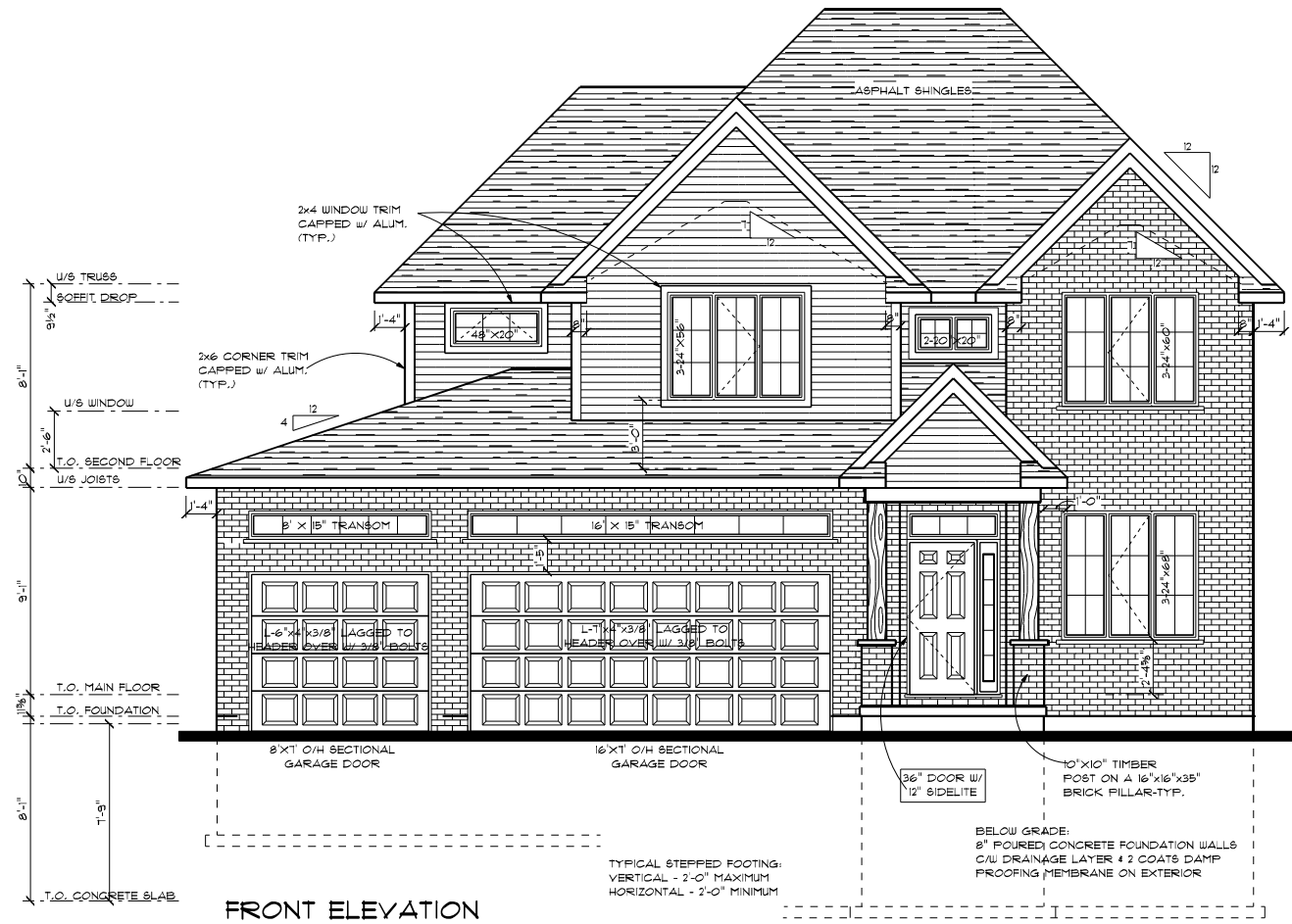
CONSTRUCTION

INDIVIDUAL BCIN: 30991

2210 SQ.FT.
+ 193 SQ.FT.

SHEET

A-3



FRONT ELEVATION

THESE PLANS HAVE BEEN REVIEWED AND APPROVED FOR CONSTRUCTION: CUSTOMER SIGNATURE: _____ DATE: _____

LOT #37 (MUN.#49) ROYAL CRES. TALBOTVILLE MEADOWS PH. 1

**Kara Taylor
&
Dave Matthews**



DATE: December 3, 2021	SHEET	
ISSUED FOR: CONSTRUCTION	A-4	
2210 SQ.FT. + 193 SQ.FT.		

SCALE:	$3/16" = 1'-0"$
DRAWN BY:	LYNDEAY SIBLEY
INDIVIDUAL BCIN:	30991

ALL DIMENSIONS & SIZE DESIGNATIONS MUST BE JOB SITE CHECKED BY CONTRACTOR OR SUBTRADE & VERIFIED. ERRORS MUST BE REPORTED BEFORE COMMENCING WORK.



REAR ELEVATION

THESE PLANS HAVE BEEN REVIEWED AND APPROVED FOR CONSTRUCTION: CUSTOMER SIGNATURE: _____ DATE: _____

LOT #37 (MUN.#49) ROYAL CRES.		TALBOTVILLE MEADOWS PH. 1	
<p>Kara Taylor & Dave Matthews</p>			SHEET
	<p>SCALE: 3/16" = 1'-0"</p>		A-5
	<p>DRAWN BY: LYNDSEY SIBLEY</p>	<p>DATE: December 3, 2021</p>	<p>CONSTRUCTION 2770 SQ. FT. + 193 SQ. FT.</p>

ALL DIMENSIONS & SITE DESIGNATIONS
MUST BE ON SITE CHECKED BY
CONTRACTOR OR SUBSTANTIALITY VERIFIED.
ERRORS MUST BE REPORTED BEFORE
BEGINNING WORK.

ALL CONSTRUCTION MUST CONFORM
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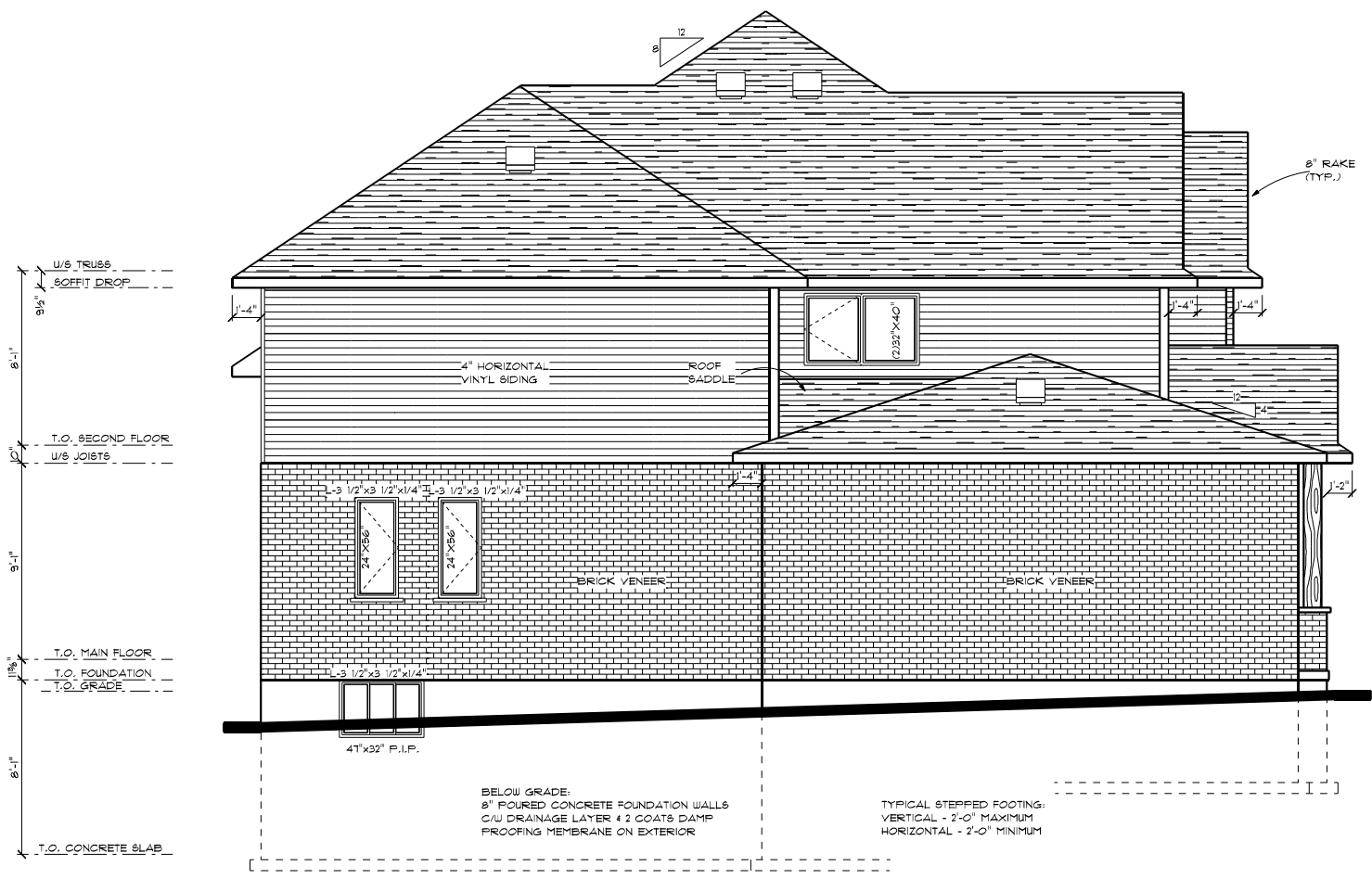
LOT #37 (MUN.#49) ROYAL CRES. TALBOTVILLE MEADOWS PH. 1

DATE: December 3, 2021		SHEET	
SCALE: 3/16" = 1'-0"		A-6	
DRAWN BY: LYNDSEY SIBLEY		CONSTRUCTION	
INDIVIDUAL BCIN: 30381		2770 SQ. FT. + 193 SQ. FT.	



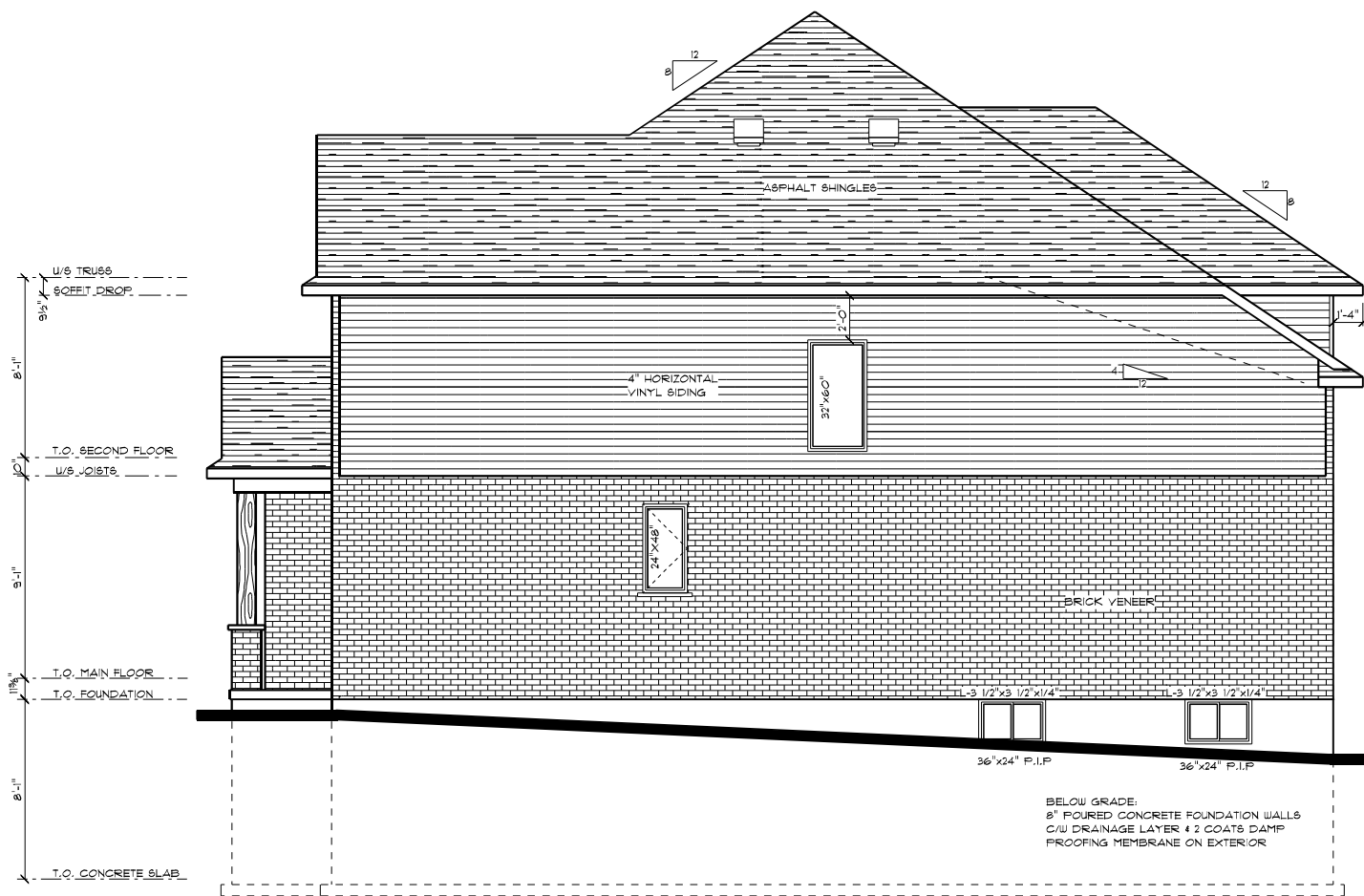
Kara Taylor
&
Dave Matthews

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LEFT ELEVATION

THESE PLANS HAVE BEEN REVIEWED AND APPROVED FOR CONSTRUCTION: CUSTOMER SIGNATURE: _____ DATE: _____



RIGHT ELEVATION

THESE PLANS HAVE BEEN REVIEWED AND APPROVED FOR CONSTRUCTION: CUSTOMER SIGNATURE: _____ DATE: _____

LOT #37 (MUN.#49) ROYAL CRES.		TALBOTVILLE MEADOWS PH. 1	
Kara Taylor & Dave Matthews		DONWEST CUSTOM HOMES	SHEET A-7
ALL DIMENSIONS & SITE DESIGNATIONS MUST BE ON SITE CHECKED BY CONTRACTOR OR SUBTRADE & VERIFIED. ERRORS MUST BE REPORTED BEFORE BEGINNING WORK.		DATE: December 3, 2021	CONSTRUCTION 2770 SQ. FT. + 193 SQ. FT.
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